

PRELIMINARY-FINAL LAND DEVELOPMENT

FOR

PROVCO PINEGOOD CENTURY, LLC.

WAWA STORE NO. 8256

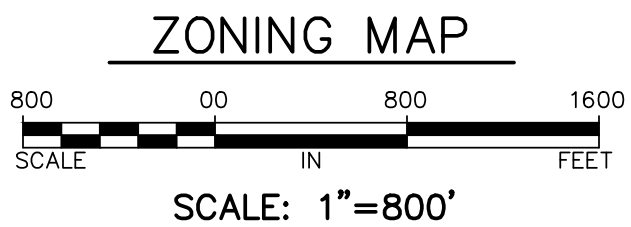
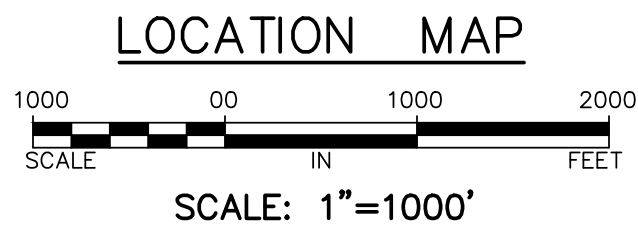
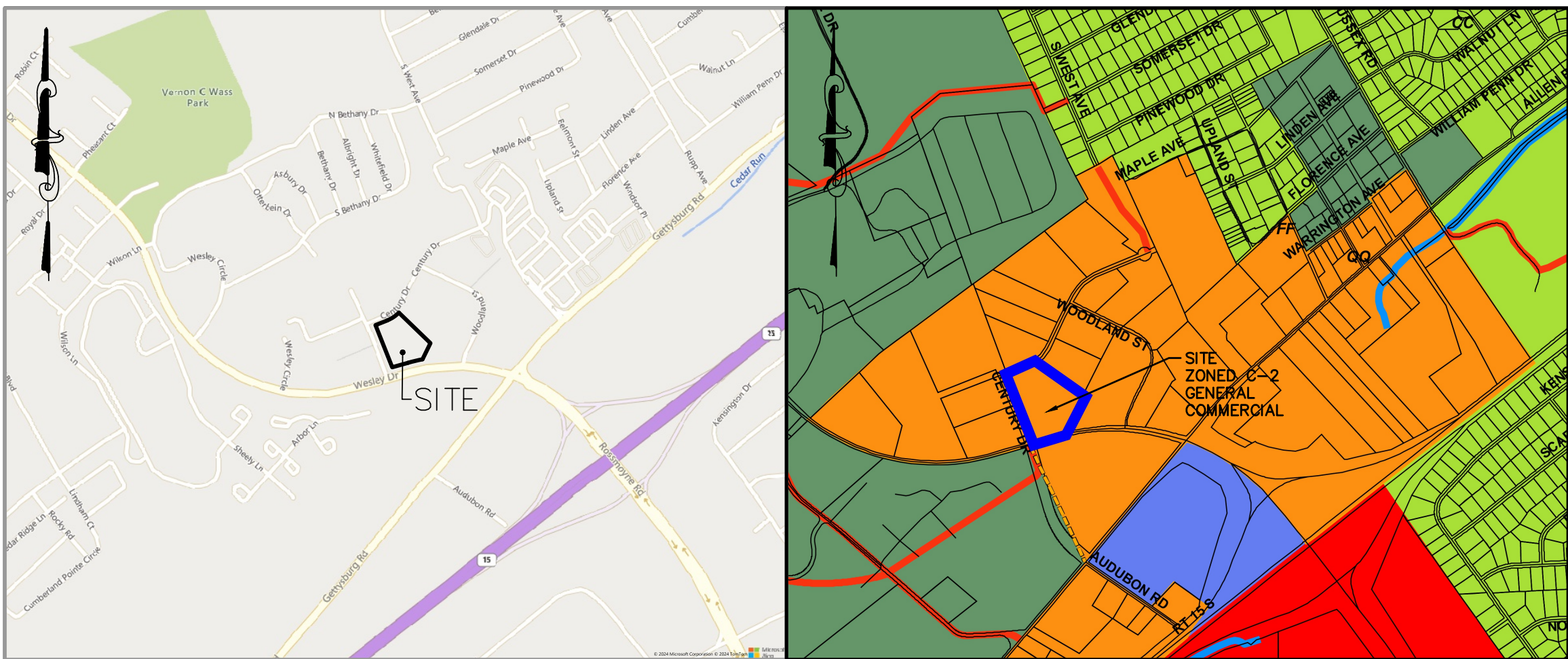
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

920 CENTURY DRIVE

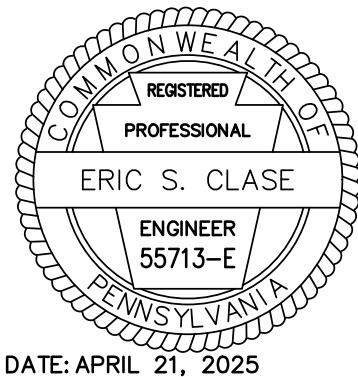
MECHANICSBURG, PENNSYLVANIA 17055

DRAWING LIST

SHEET NO.	DRAWING NAME
SHEET 1 OF 31	COVER SHEET
SHEET 2 OF 31	GENERAL NOTES SHEET
SHEET 3 OF 31	SITE PLAN
SHEET 4 OF 31	EXISTING CONDITIONS & DEMOLITION PLAN
SHEET 5 OF 31	GRADING PLAN
SHEET 6 OF 31	ADA GRADING PLAN
SHEET 7 OF 31	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
SHEET 8 OF 31	PCSM NOTES
SHEET 9 OF 31	PCSM DETAILS 1-2
SHEET 10 OF 31	PCSM DETAILS 2-2
SHEET 11 OF 31	EROSION AND SEDIMENT CONTROL PLAN
SHEET 12 OF 31	E&S NOTES 1-2
SHEET 13 OF 31	E&S NOTES 2-2
SHEET 14 OF 31	E&S DETAILS
SHEET 15 OF 31	UTILITY PLAN
SHEET 16 OF 31	STORMWATER AND SANITARY PROFILES
SHEET 17 OF 31	LANDSCAPING PLAN
SHEET 18 OF 31	CONSTRUCTION DETAILS
SHEET 19 OF 31	WAWA CONSTRUCTION DETAILS 1-4
SHEET 20 OF 31	WAWA CONSTRUCTION DETAILS 2-4
SHEET 21 OF 31	WAWA CONSTRUCTION DETAILS 3-4
SHEET 22 OF 31	WAWA CONSTRUCTION DETAILS 4-4
SHEET 23 OF 31	PRE-DEV DRAINAGE AREA PLAN
SHEET 24 OF 31	POST-DEV DRAINAGE AREA PLAN
SHEET 25 OF 31	INLET DRAINAGE AREA PLAN
SHEET 26 OF 31	LOADING AND FIRE TRUCK CIRCULATION
SHEET 27 OF 31	FUEL AND GARBAGE TRUCK CIRCULATION
SHEET 28 OF 31	LIGHTING PLAN
SHEET 29 OF 31	LIGHTING DETAILS 1-2
SHEET 30 OF 31	LIGHTING DETAILS 2-2
SHEET 31 OF 31	CLEAR SIGHT DISTANCE



SITE DATA	
CENTURY DRIVE, LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA	
WAWA STORE NUMBER	8256
TOTAL TRACT AREA	2.345 AC.
WAWA LEASE AREA	2.345 AC.
PARKING	
NUMBER OF PARKING SPACES	50 SPACES (INCLUDING ADA/OVERSIDED)
NUMBER OF ADA SPACES	2 SPACES
NUMBERS OF OVERSIDED SPACES	2 OVERSIDED SPACES
BUILDING TYPE	
BUILDING TYPE	W50FB-PA (6,049 S.F.)
CANOPY CONFIGURATION	STACKED
NUMBER OF M.P.D.S.	4 (4+1) & 4 (4+1+1)
CANOPY TYPE	SLOPED
SQ. FT. OF ASPHALT INSIDE ROW	46,690 SQ. FT.
SQ. FT. OF LAWN AREAS	49,480 SQ. FT.
SQ. FT. OF MULCH AREAS	8,580 SQ. FT.



DATE: APRIL 21, 2025

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
CORPORATE HEADQUARTERS
65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901 • (215) 345-4330 • www.gilmore-assoc.com

OWNERS INFO:

PROVCO PINEGOOD CENTURY, LLC.
795 EAST LANCASTER AVE., SUITE 200
VILLANOVA, PA 19085
610-520-4572

PROJECT LOCATION:

920 CENTURY DRIVE
LOWER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PENNSYLVANIA

TAX PARCEL:

13-24-0795-173

MUNICIPAL FILE No.:

2025-03

WAWA CONTACT INFORMATION:

WAWA, INC.
ATTN: MIKE SPIEGEL
260 BALTIMORE PIKE
RED ROOF OFFICE
MEDIA, PA 19063

AVOIDANCE MEASURE

1. THE PROPOSED PROJECT IS LOCATED IN THE VICINITY OF NORTHERN LONG-EARED BAT SPRING STAGING/FALL SWARMING HABITAT. TO ENSURE TAKE IS NOT REASONABLY CERTAIN TO OCCUR, DO NOT CONDUCT TREE REMOVAL FROM MAY 15 - AUGUST 15.
- 1.1. IF TREE REMOVAL IS TO OCCUR DURING THIS TIME, A SPECIALIST SHALL PERFORM A PRESENCE/ABSENCE SURVEY IN COORDINATION WITH FISH & WILDLIFE SERVICES.

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
2308023 920 CENTURY DRIVE WAWA - AUGUST 07, 2025

PLAN DATE: April 21, 2025
LAST REVISED: August 07, 2025

SHEET NO.:

1 OF 31

GENERAL NOTES:

1. PROPERTY KNOWN AS TAX MAP PARCEL 13--24--0795--173 AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF LOWER ALLEN, COUNTY OF CUMBERLAND, COMMONWEALTH OF PENNSYLVANIA.
2. CONTAINING 2.35 ACRES (102,467 SQ.FT.) MORE OR LESS.
3. THE BOUNDARY AND TOPOGRAPHIC AS SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY MORRIS ASSOCIATES, INC. IN DECEMBER OF 2024.
4. VERTICAL DATUM IS NAVD83 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM

HORIZONTAL DATUM IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD 83) ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM

- BENCHMARK IS A CAPPED NAIL AT THE SOUTHWEST CORNER OF CENTURY DRIVE AND WESLEY DRIVE WITH AN ELEVATION OF 421.00.
6. FEMA FIRM MAP #42014-0279-F, EFFECTIVE DATE SEPTEMBER 07, 2023, DESIGNATES THE PROJECT SITE AS A "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
7. LOWER ALLEN TOWNSHIP ORDINANCES UTILIZED FOR THIS PROJECT INCLUDE:
- ZONING ORDINANCE ADOPTED 07/13/2009, AMENDMENTS NOTED WHERE APPLICABLE;
 - SUBDIVISION AND LAND DEVELOPMENT ORDINANCE ADOPTED 08/23/2010, AMENDMENTS NOTED WHERE APPLICABLE.
8. DESIGNATED "X" AREAS ARE NOT UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARK-OUTS BY UTILITY OWNERS, AND/OR ABOVE GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN PREPARATION OF THESE DRAWINGS; THEREFORE ALL UTILITIES SHOWN SHOULD BE VERIFIED BY THE CONTRACTOR. THE DEPTH, LOCATION AND SIZE OF THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/ FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THESE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE. THE LOCATION OR ACCURACY OF ANY OTHER UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.
9. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO THE START OF WORK. ANY DISCREPANCY OR UNUSUAL REQUIREMENTS OF THE PLAN, DESIGN, 22, DECEMBER 10, 1974 AS LAST AMENDED ON OCTOBER 9, 2008, PENNSYLVANIA ACT 121.
10. ALL CONTRACTORS WORKING ON THE PROJECT SHALL BE RESPONSIBLE FOR INSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THE PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
11. ALL CONSTRUCTION REQUIREMENTS AND MATERIAL SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND DETAILS OF LOWER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCES, PADEP AND/OR PENNDOT FORM 408, LATEST EDITION, AND PA-UCC WHERE APPLICABLE.
12. NO STRUCTURES, FENCE, PLANTINGS, OR OTHER VISUAL OBSTRUCTION SHALL BE PLACED IN THE VICINITY OF THE PROJECT THAT WOULD ELEVATE STREET LEVEL SO AS TO INTERFERE WITH TRAFFIC VISIBILITY WITHIN THE CLEAR SIGHT TRIANGLE SHOWN OF THE PLAN. THE CLEAR SIGHT TRIANGLE IS MEASURED 10 FEET IN BOTH DIRECTIONS FROM THE POINT OF INTERSECTION OF THE STREET LINE AND THE EDGE OF THE DRIVEWAY.
13. APPLICANT SHALL POST FINANCIAL GUARANTEE TO THE TOWNSHIP FOR TIMELY INSTALLATION AND PROPER CONSTRUCTION OF ALL STORMWATER MANAGEMENT FACILITIES. THE FINANCIAL GUARANTEE SHALL BE PROVIDED TO LOWER ALLEN TOWNSHIP PRIOR TO THE APPROVAL OF THE STORMWATER MANAGEMENT SITE PLAN.
14. THE PROJECT SURVEYOR SHALL VERIFY THAT THE MINIMUM SIGHT DISTANCE HAS BEEN PROVIDED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY.
15. PLAN SHEETS 1 THRU 31 AS IDENTIFIED IN THE LIST OF DRAWINGS ON RECORD AT LOWER ALLEN TOWNSHIP SHALL BE CONSIDERED A PART OF THE APPROVED PLAN SHEETS AS IF HERETOFORE INCORPORATED BY REFERENCE.
16. PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF PROPOSED STORMWATER MANAGEMENT FACILITIES AND STORMWATER DRAINAGE SYSTEM.
17. REFER TO "POST-CONSTRUCTION STORMWATER MANAGEMENT (PCSM) REPORT AND "EROSION & SEDIMENT CONTROL (E&S) REPORT, DATED APRIL 21, 2025, LAST REVISED AUGUST 07, 2025 FOR ADDITIONAL DESIGN INFORMATION AND CALCULATIONS. THESE REPORTS AND CALCULATIONS ARE HEREBY MADE A PART OF THESE APPROVED PLANS BY REFERENCE.
18. NO TOPSOIL SHALL BE REMOVED FROM THE SITE.
19. THE PROJECT IS LOCATED IN THE CEDAR RUN WATERSHED.
20. RECEIVING WATERCOURSES: CEDAR RUN (POA- 001 AND POA-002), ALL HAVE A CHAPTER 93 RECEIVING WATER CLASSIFICATION OF CWF, Mf (COLD WATER FISHES MIGRATORY FISHES).
21. AS AS-BUILT PLAN OF THE MRC STORMWATER FACILITY SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER PRIOR TO ADDITIONAL SITE ACTIVITIES. A FINAL AS-BUILT PLAN INCLUDING BUT NOT LIMITED TO: BUILDING, CURBS, DRIVEWAYS, STRUCTURES, UTILITIES, AND STORMWATER FACILITIES, SHALL BE PROVIDED TO THE TOWNSHIP UPON SUBSTANTIAL COMPLETION OF THE PROJECT.
22. APPLICANT AND OWNER ACKNOWLEDGE THAT CERTAIN SITE IMPROVEMENTS DEPICTED ON THIS PLAN, INCLUDING BUT NOT LIMITED TO ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTE TO THE PROPERTY, AND PRE-EXISTING SIGNS, THAT REQUIRE APPROVAL UNDER REGULATIONS CONTAINED IN THE PA UNIFORM CONSTRUCTION CODE AND/OR LOWER ALLEN TOWNSHIP ZONING CODE MUST BE OBTAINED IN ACCORDANCE WITH SEPARATE PERMIT REQUIREMENTS GRANTED UNDER THOSE REGULATIONS.
23. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.
24. A SEPARATE ZONING/BUILDING PERMIT WILL BE REQUIRED FOR ALL PROPOSED SIGNS.
25. A BLANKET STORMWATER MANAGEMENT EASEMENT IS GRANTED TO THE TOWNSHIP FOR THE PURPOSE OF ACCESS AND INSPECTION OF THE MRC BASIN FACILITY ON AN ANNUAL BASIS. THE COSTS AND EXPENSES ASSOCIATED WITH SAID INSPECTED FACILITIES ARE TO BE PAID BY THE OWNER. IN THE EVENT OF A VIOLATION, IN THE JUDGEMENT OF THE TOWNSHIP ENGINEER, THE OWNER HAS FAILED TO MAINTAIN THE MRC BASIN FACILITY IN SUCH A MANNER AS TO ENSURE THE PROPER FUNCTIONING OF THE TOWNSHIP, AFTER PROVIDING A WRITTEN NOTICE, SHALL HAVE THE RIGHT TO ENTER UPON LANDS OF THE OWNER AND TO MAKE ANY REPAIRS AS MAY BE NECESSARY TO THE MRC BASIN FACILITY TO ENSURE THAT SUCH FACILITIES FUNCTION AND PERFORM IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS, AND CONDITIONS, AND REQUIREMENTS OF THE TOWNSHIP FOR SUCH REPAIRS AND/OR MAINTENANCE SHALL BE PAID IN FULL BY THE OWNER. A LIEN OR LIENS MAY BE PLACED AGAINST THE PROPERTY IF THE OWNER FAILS TO REMIT PAYMENT WITHIN SIXTY (60) DAYS IN ACCORDANCE WITH THE OPERATION AND MAINTENANCE AGREEMENT.
26. A STORMWATER MANAGEMENT FACILITIES OPERATION AND MAINTENANCE AGREEMENT WITH THE TOWNSHIP SHALL BE SIGNED AND RECORDED FOR THIS DEVELOPMENT.
27. NO PERSON SHALL MODIFY, REMOVE, FILT, LANDSCAPE, OR ALTER ANY SWM FACILITY, STRUCTURE, AREAS, STRUCTURES, OR ELEMENTS THAT WERE INSTALLED APPROVED AS PART OF THE PROJECT. IF LOWER ALLEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
28. CONTRACTOR TO VERIFY CONDITION OF EXISTING CONCRETE CURB PER CURB EVALUATION CRITERIA PROVIDED ON SHEET 17. IF IT IS DETERMINED THAT ADDITIONAL CURB REPLACEMENT IS NEEDED, THE PROPOSED CURB WILL BE REVISED ACCORDINGLY.
29. THIS PROJECT HAS RECEIVED APPROVAL OF A PLANNING MODULE EXEMPTION.

DEMOLITION NOTES:


1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK BEFORE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOISTS, DERRICKS, OR OTHER SUITABLE METHODS.
6. BREAK UP CONCRETE SLABS-ON-GRADE UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, BEAMS, OR FRAMES.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING, ALL OTHER EXISTING SYSTEMS, INCLUDING BUT NOT LIMITED TO, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR, BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT DRAIN OR GRAVE SPACE OR OTHER STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT PROPERTY DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR RESTRICTED TRAFFIC WAYTS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE GEOTECHNICAL OPERATION, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIAMETER. REMOVE MATERIAL FROM THE SITE OF OPERATION TO BE USED PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS, PLACE FILL MATERIALS IN HORIZONTAL LAYERS EXCEPT 6 INCHES MAXIMUM. OPERATOR TO COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
14. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE DATE, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVE ALL MATERIALS FROM THE SITE. THE REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER AGENCIES OR AUTHORITIES.
15. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION ALL UTILITIES, INCLUDING ALL ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
16. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
17. CONTRACTOR TO VERIFY CONDITION OF EXISTING CONCRETE CURB PER CURB EVALUATION CRITERIA PROVIDED ON SHEET 17. IF IT IS DETERMINED THAT ADDITIONAL CURB REPLACEMENT IS NEEDED, THE PROPOSED CURB WILL BE REVERSELY ADJUSTED.

GRADING AND DRAINAGE NOTES

1. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION ON DECEMBER 12, 1988 PL. 1574, NO. 172. CONTRACTOR MUST NOTIFY PA ONE CALL SYSTEM, INC. THREE (3) DAYS PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL NOT ENCHARGE ONTO ADJOINING PROPERTIES UNLESS THE NEIGHBORING PROPERTY IS DESIGNATED AS AN ADJACENT PROPERTY BY THE ADJOINING PROPERTY OWNER. CONTRACTOR SHALL HAVE PROPERTY LINES CLEARLY MARKED BY THE TOWNSHIP ENGINEER. THERE SHALL BE A MINIMUM OF FIVE FEET OF THE PROPERTY LINE AND SHALL CONSTRUCT SUCH BARRIERS WHICH ARE NECESSARY TO PREVENT ENCHARGEMENT ONTO ADJOINING PROPERTIES.
3. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING THAT ALL DISTURBED AREAS ARE RESTORED TO ORIGINAL OR BETTER CONDITION IN ACCORDANCE WITH ALL APPLICABLE ASHA (OCCUPATIONAL SAFETY AND HEALTH) AND EPCRA (ENVIRONMENTAL PROTECTION ACT) REGULATIONS. NO REGULATED EARTH DISTURBANCE ACTIVITIES WITHIN THE TOWNSHIP SHALL COMMENCE UNTIL THE TOWNSHIP RECEIVES AN APPROVAL FROM THE TOWNSHIP ENGINEER. THE APPROVED FINAL PLAN AND THE APPROVED CONSTRUCTION PLAN FOR CONSTRUCTION ACTIVITIES.
4. EROSION OR CONSTRUCTION MATERIAL IS PROHIBITED. TREES AND STUMPS MAY BE CHIPPED OR GROUND AND SPREAD ON SITE. DRAINAGE DITCHES SHALL BE MAINTAINED AND NOT FILL WITH DEBRIS. EROSION MEASURES SHALL BE IN PLACE AND FUNCTIONING PRIOR TO THE CREATION OF ANY NEW EROSION CHANNELS.
5. ALL EROSION MEASURES SHALL BE STABILIZED WITH SEEDING LAWN SHALL BE SAVED.
6. ALL FLOOR ELEVATIONS CHANGE BETWEEN THE FINAL APPROVED PLAN AND BUILDING PERMIT PLAN, A REVISD SITE GRADING PLAN MAY BE REQUIRED.
7. CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY SITE CONSTRUCTION ACTIVITIES.
8. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, INVERTS, ELEVATIONS, AND DISTANCES. CONTRACTOR SHALL PROCEED WITH CONSTRUCTION IN ACCORDANCE WITH THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE USED TO CORRECT ANY DISCREPANCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYED PRIOR TO PROCEEDING WITH THE WORK.
9. CONTRACTOR SHALL MAINTAIN A LOW WATER PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOT USE SCALED DIMENSION FOR CONSTRUCTION WITHOUT CONFIRMATION BY THE DESIGN ENGINEER.
10. ALL CONSTRUCTION REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE LOWER ALLEN TOWNSHIP ENGINEERING AND CONSTRUCTION CODES. THE LOWER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, PAEPD AND/OR PENNDOT FORM 408, LATEST EDITION. LOWER ALLEN TOWNSHIP STANDARDS SHALL GOVERN WHERE CONFLICTING STANDARDS OCCUR.
11. THE STORMWATER MANAGEMENT FACILITIES SHOWN ON THESE PLANS ARE A PART OF THE PERPETUAL PART OF THE TOWNSHIP. THE TOWNSHIP OF LOWER ALLEN TOWNSHIP AND AS SUCH ARE TO BE PROTECTED AND PRESERVED IN ACCORDANCE WITH THE APPROVED FINAL PLAN. AN ACCESS EASEMENT IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE PURPOSES TO ALL PRIVATE STORMWATER MANAGEMENT AND SCM FACILITIES WITHIN ALL PRIVATELY OWNED LANDS SHOWN ON THESE PLANS. THE TOWNSHIP SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE EASEMENT, A DEEP RESTRICTION TO THE SATISFACTION OF THE TOWNSHIP SOLICITOR SHALL BE SUBMITTED TO PROVIDE FOR MAINTENANCE, TO ALTHOUGH THE TOWNSHIP TO TAKE NO FURTHER MAINTENANCE MEASURES, AND TO LIEN THE COST OF THE WORK AGAINST THE PROPERTY SHOULD CONFLICTING MEASURES NOT BE PERFORMED BY PROPERTY OWNER OR ENTITY ASSIGNED BY THE TOWNSHIP IN ACCORDANCE WITH THE OPERATION AND MAINTENANCE AGREEMENT SHALL APPLY.
12. SOLS INFORMATION TAKEN FROM USDA-NRCS "WEB SOLS SURVEY OF CUMBERLAND COUNTY".
13. ALL STORMWATER MANAGEMENT SHALL BE HIGH DENSITY POLYETHYLENE (HDPE), UNLESS NOTED OTHERWISE.
14. ALL PROPOSED INVERTS SHALL BE PRECAST AND SHALL BE INSTALLED PER THE "COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION BUREAU OF DESIGN, STANDARDS FOR ROADWAY CONSTRUCTION", PAGE R-404, LATEST EDITION. PRE-CAST DRAINAGE STRUCTURES SHALL BE DESIGNED WITH H-22 LOADING.
15. ALL PROPOSED GRADES SHALL HAVE A MAXIMUM SLOPE OF THREE HORIZONTAL TO ONE VERTICAL (4:1). NOT ATTACHED TO ANY MECHANICAL MEANS WILL BE REQUIRED AND WILL BE SUBJECT TO TOWNSHIP APPROVAL. MINIMUM SLOPE DRAINAGE SHALL BE 0.5%.
16. ALL SLOPE GREATER THAN FOUR HORIZONTAL TO ONE VERTICAL (4:1) SHALL RECEIVE A STEEP SLOPE SEED MIXTURE AND BE PROTECTED BY EROSION CONTROL MATTING BY NORTH ARROW OR EQUIVALENT, AS APPROVED BY THE LOWER ALLEN TOWNSHIP ENGINEER. SEE THE APPROVED FINAL PLAN FOR CONSTRUCTION ACTIVITIES.
17. ALL ENDSALLS, STORM SEWER MANHOLES, AND STORM SEWER INLETS SHALL BE CONSTRUCTED TO THE TOP OF THE GRADE ELEVATION FOR ALL STORM SEWER INLETS FOR THE TOWNSHIP.
18. ANY SPOUT ENCOUNTERED DURING CONSTRUCTION SHALL BE OULETTED BY U-BRAN TO NEAREST STORM SEWER FACILITY OR WATERCOURSE.
19. ALL U-BRAN PLACEMENT TO BE BY DIRECTION OF DESIGN ENGINEER.
20. ALL AREAS SHALL BE PROPERLY GRADED TO ENSURE PROPER DRAINAGE TO NEAREST INLET OR WATERCOURSE.
21. ALL CONSTRUCTION SHALL BE PROHIBITED IN THE EVENT OF FLOODING OR OBSTRUCTION.
22. CONTRACTOR SHALL ENSURE PROPER DRAINAGE FLOW IN REGARDS TO ANY IMPROVEMENTS ON SITE- ON OR OFF-SITE.
23. ALL EXISTING UTILITY VALVES, MANHOLES, AND JUNCTION STRUCTURES SHALL BE AS ADAPTED TO THE CONSTRUCTION.
24. ALL CONSTRUCTION SHALL BE SUBJECT TO THE REQUIREMENTS OF THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE MUNICIPALITY.
25. ALL CONSTRUCTION WORK AND MATERIALS SHALL COMPLY WITH PENNDOT SPECIFICATIONS (PUB. 408/2007) AS AMENDED AND STANDARD DETAILS, WITH APPLICABLE FEDERAL, STATE, AND MUNICIPAL CODES, AND WITH PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARD STANDARDS. IN THE CASE OF CONFLICTING CONSTRUCTION STANDARDS, THE GREATER STANDARD SHALL GOVERN. STANDARD SHALL APPLY.
26. NO TOPSOIL SHALL BE REMOVED FROM THE SITE.


UTILITY NOTES

1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE OWNER. THE CONTRACTOR SHALL COMMENCE CONSTRUCTION AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY ONE CALL NUMBER FOR "HOUR OF PRICE" FOR ANY EXCAVATION. THE CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
3. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE RESPONSIBLE FOR THE CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
4. WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
5. ALL WATER MAIN SHALL BE CEMENT-UNED CLASS 52 DUCTILE IRON PIPE UNLESS OTHERWISE DESIGNATED.
6. THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICE SHALL BE 1 INCH.
7. SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH SEWER MAINS MAIN AT LEAST 18 INCHES BELOW WATER MAINS. SEWER MAINS SHALL BE SDR-35 PVC PIPE UNLESS OTHERWISE DESIGNATED.
8. ALL SEWER PIPE CROSSINGS WITH WATER MAIN OR STORMWATER CONDUITS LESS THAN 18" VERTICAL CLEARANCE SHALL BE CONCRETE ENCASED.
9. WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10 FEET DEEP AT CONNECTION TO THE SEWER, MAIN CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE USED.
10. LOCATION AND LAYOUT OF GAS, ELECTRIC, AND TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION AND LAYOUT OF THESE UTILITIES AND SERVICES ARE TO BE DETERMINED BY THE APPROPRIATE UTILITY PROVIDER.
11. ROOF DRAIN COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED WITH ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
12. ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
13. ALL PROPOSED UTILITIES ARE TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
14. MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76 CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-76 CLASS III UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PERFORMED FLEXIBLE JOINT SEALANTS IN ALL JOINTS. IN JOINTS WHERE THE CONTRACTORS ARE TO PROVIDE A SLIT-TIGHT JOINT, WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATERTIGHT AND CONFORM TO ASTM C-443.
15. HDPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2308. SOLID PIPE SHALL HAVE GASKETED WATERTIGHT JOINTS IN ACCORDANCE WITH THE ASTM F2308 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SLIT TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HDPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HDPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
16. HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12--30" PIPE) AND ASTM F2881 (36--60" PIPE). PIPE SHALL HAVE GASKETED WATERTIGHT JOINTS IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM F2736 AND ASTM F2881. WATERTIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
17. PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ADJUSTED BY THE CONTRACTOR.
18. SANITARY SEWER LATERAL SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOWER ALLEN TOWNSHIP AUTHORITY RULES AND REGULATIONS.



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
CORPORATE HEADQUARTERS
165 EAST BAYVIEW AVENUE, SUITE 100, NEW BRITAIN, PA 19001 • (215) 345-4339 • www.gilmore-associ.com

ONLY THESE PLANS SUBMITTING THE PROFESSIONAL SEAL SHOULD BE CONSIDERED OFFICIAL AND RELIED UPON BY USER. THIS PLAN IS PREPARED SPECIFICALLY FOR THE CLIENT AND PROJECT IDENTIFIED HEREON. ANY REUSE OF THIS PLAN FOR ANY OTHER PROJECT WITHOUT THE PERSONAL WRITTEN CONSENT OF GILMORE & ASSOCIATES, INC. IS PROHIBITED.
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ERIC S. CLASE
REGISTERED PROFESSIONAL ENGINEER
50715-E

DATE: 08/07/25


REV.	DESCRIPTION	DATE	BY
1	PER UTILITY COORDINATION	05/07/25	UP
2	PER RETIEW LTR. DATED 05/13/25	05/23/25	LEH
3	PER CODD LTR. DATED 05/27/25	06/30/25	LEH
4	PER RETIEW LTR. DATED 06/09/25	08/07/25	LEH

PRELIMINARY-FINAL LAND DEVELOPMENT

920 CENTURY DRIVE WAWA

LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

GENERAL NOTES SHEET



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT NO.: 23080023

WAWA STORE NO. 8256

OWNERS INFO:
PROVIDE FINEGOOD CENTURY, LLC
795 EAST LANCASTER AVE.
SUITE 200
VILLANOVA, PA 19085
610-520-4572

MUNICIPAL FILE NO.: 2025-03
13-24-0795-173

TOTAL AREA: 2.35 AC.

DATE: 04/21/2025

DRAWN BY: LEH

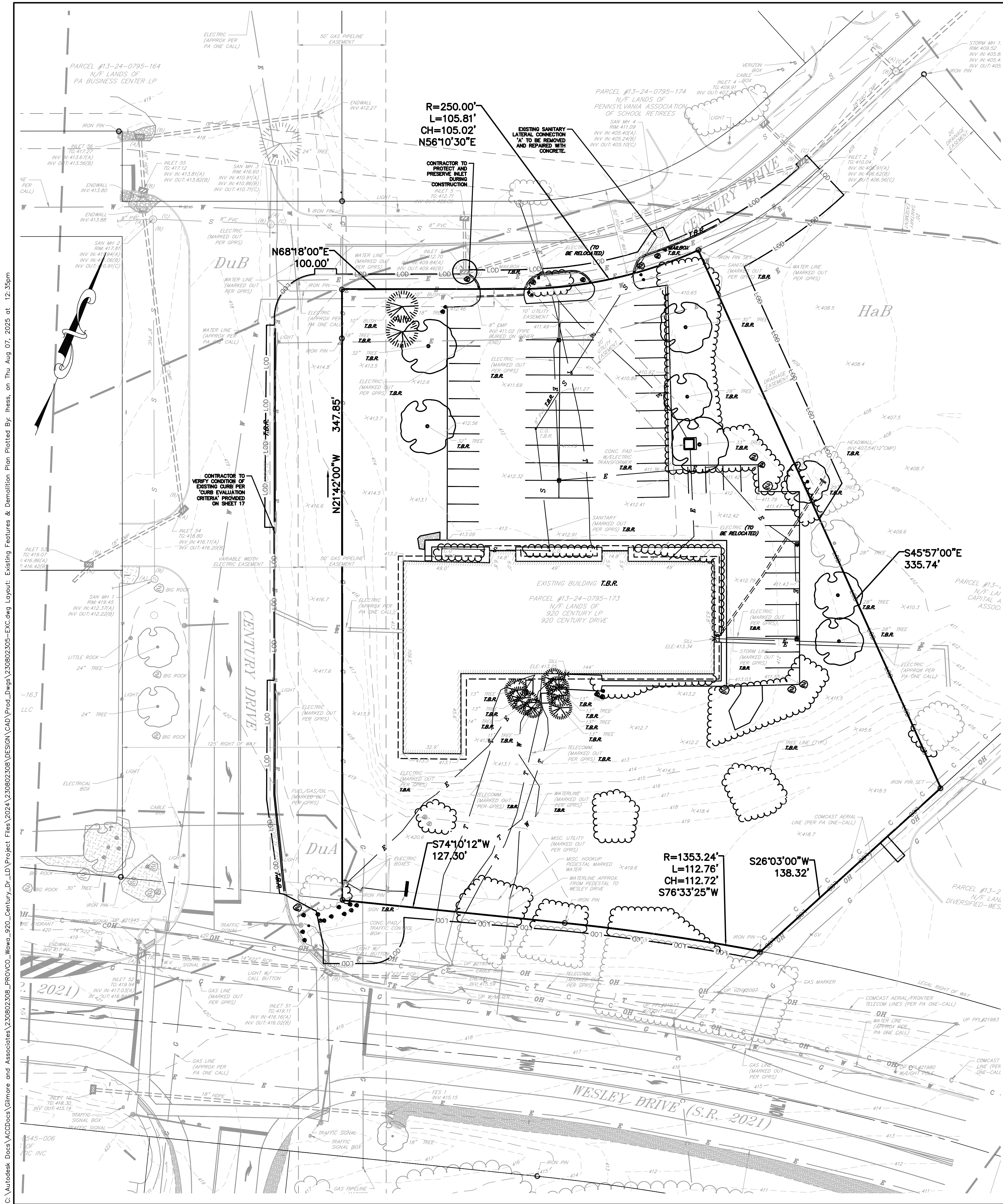
SCALE: N.T.S.

CHECKED BY: ESC

TOTAL LOTS: 1

SHEET NO.: 2 OF 31

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GENERAL SURVEY NOTES

1. PROPERTY KNOWN AS TAX MAP PARCEL 13-24-0795-173 AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF LOWER ALLEN, COUNTY OF CUMBERLAND, COMMONWEALTH OF PENNSYLVANIA.
2. CONTAINING 2.35 ACRES (102,467 SQ.FT.) MORE OR LESS.
3. THIS SURVEY WAS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER 166817CD-02, HAVING A COMMITMENT DATE OF FEBRUARY 28, 2024, WITH THE SURVEY EXCEPTIONS LISTED IN SCHEDULE B, PART II AS SHOWN HEREON.
4. TOPOGRAPHIC INFORMATION AND EXISTING FEATURES SHOWN WERE COMPILED BY A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES, INC. IN DECEMBER OF 2024.
5. SUBJECT TO COVENANTS, RESTRICTIONS AND/OR EASEMENTS EITHER WRITTEN OR IMPLIED.
6. HORIZONTAL DATUM IS BASED ON THE PENNSYLVANIA (SOUTH) STATE PLANE COORDINATE SYSTEM (NAD 83) ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
7. VERTICAL DATUM IS NAVD88 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
8. BENCHMARK IS A CAPPED NAIL AT THE SOUTHWEST CORNER OF CENTURY DRIVE AND WESLEY DRIVE WITH AN ELEVATION OF 421.00
9. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WAS OBSERVED AT THE TIME OF THE SURVEY.
10. NO CHANGES IN THE STREET RIGHT-OF-WAY LINES OR EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED AT THE TIME OF THE SURVEY.
11. THE SUBJECT PROPERTY SHOWN HEREON FORMS A MATHEMATICALLY CLOSED FIGURE WITHOUT ANY GAPS, GORES OR OVERLAPS.
12. THE LAND DESCRIBED IN ISSUING OFFICE FILE NUMBER 166817CD-02 IS THE SAME LAND DESCRIBED ON THE SURVEY.
13. PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), SITE IS LOCATED IN FLOOD ZONE X - OTHER AREAS - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, AND FOUND ON FLOOD INSURANCE RATE MAP (FIRM) 42041C-0279-F, EFFECTIVE DATE SEPTEMBER 7, 2023.

REFERENCES

1. GPRS FINDINGS MAP PREPARED FOR GILMORE AND ASSOCIATES, INC. LOCATION 920 CENTURY DRIVE, MECHANICSBURG, PA. DATED 11-27-24
2. PLAN ENTITLED "COMMONWEALTH OF PENNSYLVANIA - DEPARTMENT OF HIGHWAYS - FINAL DRAWINGS FOR CONSTRUCTION BY THE STATE HIGHWAY AND BRIDGE AUTHORITY - LEG ROUTE 123 SECTION 10 IN CUMBERLAND COUNTY AND LEG. ROUTE 21069 SECTION 4", PREPARED BY BERGER ASSOCIATES INC. DATED 1-30-69 AND APPROVED 11-19-69.
3. PLAN ENTITLED "COMMONWEALTH OF PENNSYLVANIA - DEPARTMENT OF TRANSPORTATION - DRAWINGS FOR CONSTRUCTION OF STATE ROUTE 2021 SECTION 003 - IN CUMBERLAND COUNTY", PREPARED BY DISTRICT 8-0 HIGHWAY DESIGN UNIT. DATED 2-25-14 AND FINAL INSPECTION/AS-BUILT 7-28-15.
4. PLAN BOOK 58, PAGE 144. PLAN BOOK 91, PAGE 147A. PLAN BOOK 64, PAGE 102. PLAN BOOK 49, PAGE 87. PLAN BOOK 55, PAGE 92.
5. INSTRUMENT #202308130, INSTRUMENT #202000435, INSTRUMENT #201319913, INSTRUMENT #201407587, INSTRUMENT #201002626, INSTRUMENT #200747573
6. DEED BOOK 32, PAGE 1012. DEED BOOK 32, PAGE 901.

DEMOLITION NOTE

ALL BOLD FEATURES WITHIN THE LIMIT OF DISTURBANCE SHALL BE REMOVED DURING CONSTRUCTION ACTIVITIES, INCLUDING BUT NOT LIMITED TO: ASPHALT PAVEMENT, CURBING, CONCRETE WALKWAYS, GRAVEL/DIRT AREAS, TREES, FENCING, SIGNS, LAMPS, ETC.

AVOIDANCE MEASURE

1. THE PROPOSED PROJECT IS LOCATED IN THE VICINITY OF NORTHERN LONG-EARED BAT SPRING STAGING/FALL SWARMING HABITAT. TO ENSURE TAKE IS NOT REASONABLY CERTAIN TO OCCUR, DO NOT CONDUCT TREE REMOVAL FROM MAY 15 - AUGUST 15.
- 1.1. IF TREE REMOVAL IS TO OCCUR DURING THIS TIME, A SPECIALIST SHALL PERFORM A PRESENCE/ABSENCE SURVEY IN COORDINATION WITH FISH & WILDLIFE SERVICES.

SOILS LEGEND AND TABLE OF LIMITATIONS & RESOLUTIONS BASED ON USDA-NRCS WEB SOIL SURVEY OF CUMBERLAND COUNTY

SYMBOL	MAPPING UNITS	SLOPE	LAND CAPBLTY	HYDRIC SOIL	HYDRO. GROUP	DEPTH TO BEDROCK	WATER TABLE	LIMITATIONS FOR CONSTRUCTION	RESOLUTION OF LIMITATIONS
DuA	DUFFIELD SILT LOAM	0-3%	1	YES	B	60-80"	> 5'	NOT LIMITED	
DuB	DUFFIELD SILT LOAM	3-8%	2e	YES	B	60-80"	> 5'	NOT LIMITED	
HaB	HAGERSTOWN SILT LOAM	3-8%	2e	YES	B	43-98"	> 5'	SOMEWHAT LIMITED: SHRINK-SWELL POTENTIAL	COMPACTION AS PER PLAN SPECIFICATION

*SEE E&S NOTES SHEET 2 FOR SOILS LIMITATIONS AND RESOLUTION TABLES

PENNSYLVANIA ONE CALL SYSTEM, INC.

925 Irwin Run Road
West Mifflin, Pennsylvania
15122 - 1078



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776

NON-MEMBERS MUST BE CONTACTED DIRECTLY

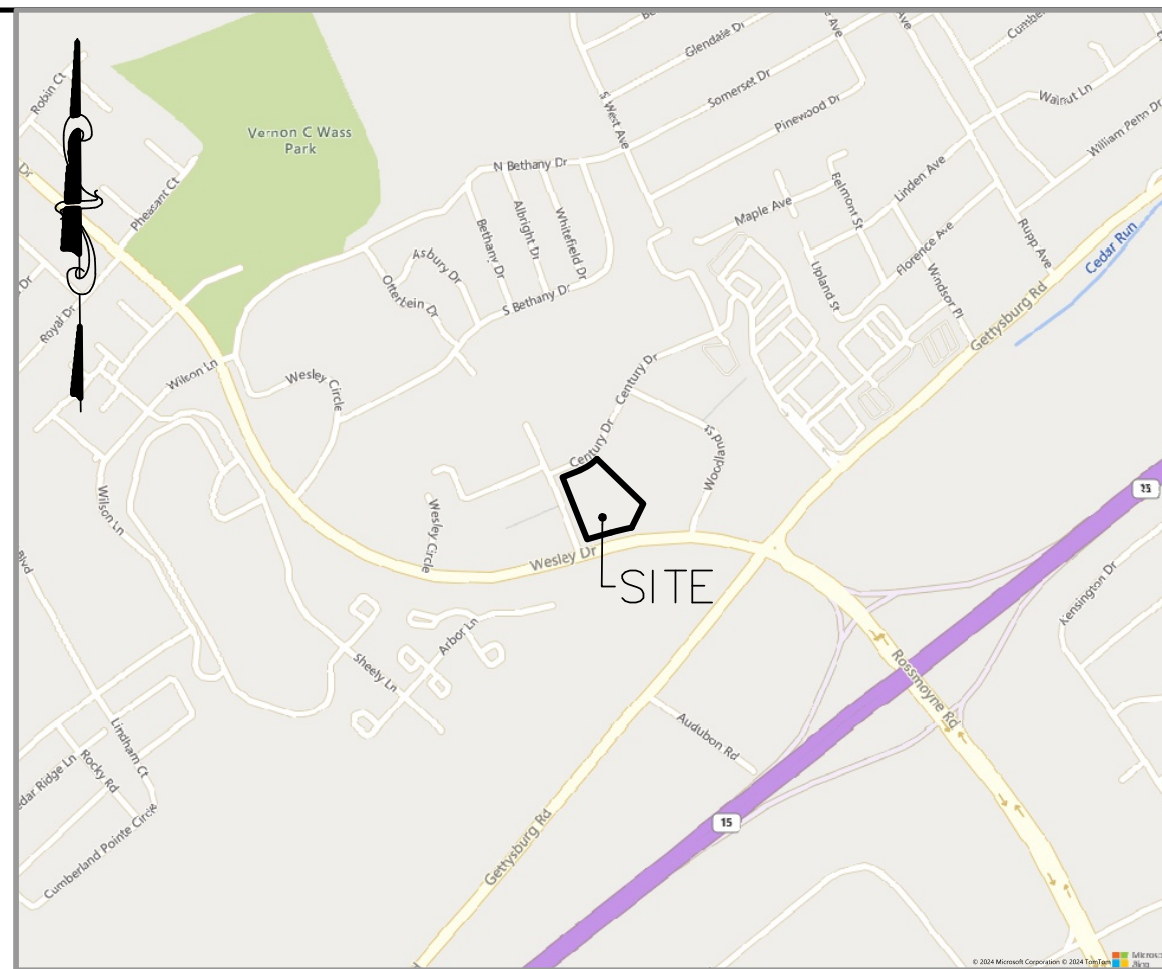
NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH

SERIAL NO. 20243203027

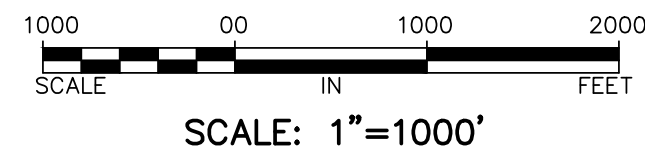
LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUTS BY UTILITY OWNERS, AND/OR ABOVE-GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN THE PREPARATION OF THESE DRAWINGS. THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.

ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON APRIL 28, 2018 PENNSYLVANIA ACT 50.

GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.



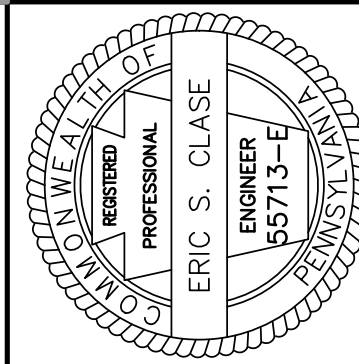
LOCATION MAP



LEGEND

- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- EXISTING SPOT ELEVATION
- TREE LINE
- LEGAL RIGHT-OF-WAY
- ULTIMATE RIGHT-OF-WAY
- STORM LINE
- GAS LINE
- OVERHEAD ELECTRIC LINE
- ELECTRIC LINE
- SANITARY LINE
- WATER LINE
- EXISTING EASEMENT
- SANITARY MANHOLE
- STORM INLET
- DETECTABLE WARNING SURFACE
- GAS VALVE
- WATER VALVE
- FIRE HYDRANT
- ELECTRIC METER
- GUY
- UTILITY POLE
- MAILBOX
- LIGHT STANDARD
- CONCRETE MONUMENT FOUND
- IRON PIN FOUND
- BENCHMARK SET

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES



DATE: 08/07/25

LEH	DATE	BY
4	PER RETIEW LTR. DATED 08/09/25	08/07/25
3	PER CODD LTR. DATED 05/27/25	08/30/25
2	PER RETIEW LTR. DATED 05/13/25	05/23/25
1	PER UTILITY COORDINATION	05/07/25
REV.		

PRELIMINARY-FINAL LAND DEVELOPMENT

920 CENTURY DRIVE WAWA

LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

EXISTING FEATURES & DEMOLITION PLAN



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT NO.: 2308023

WAWA STORE NO. 8256
OWNERS INFO:
PROVOC PINEGOOD CENTURY, LLC
705 EAST LANCASTER AVE.
SUITE 200
MILLANOA, PA 19085
610-520-4572

MUNICIPAL FILE NO.: 2025-03

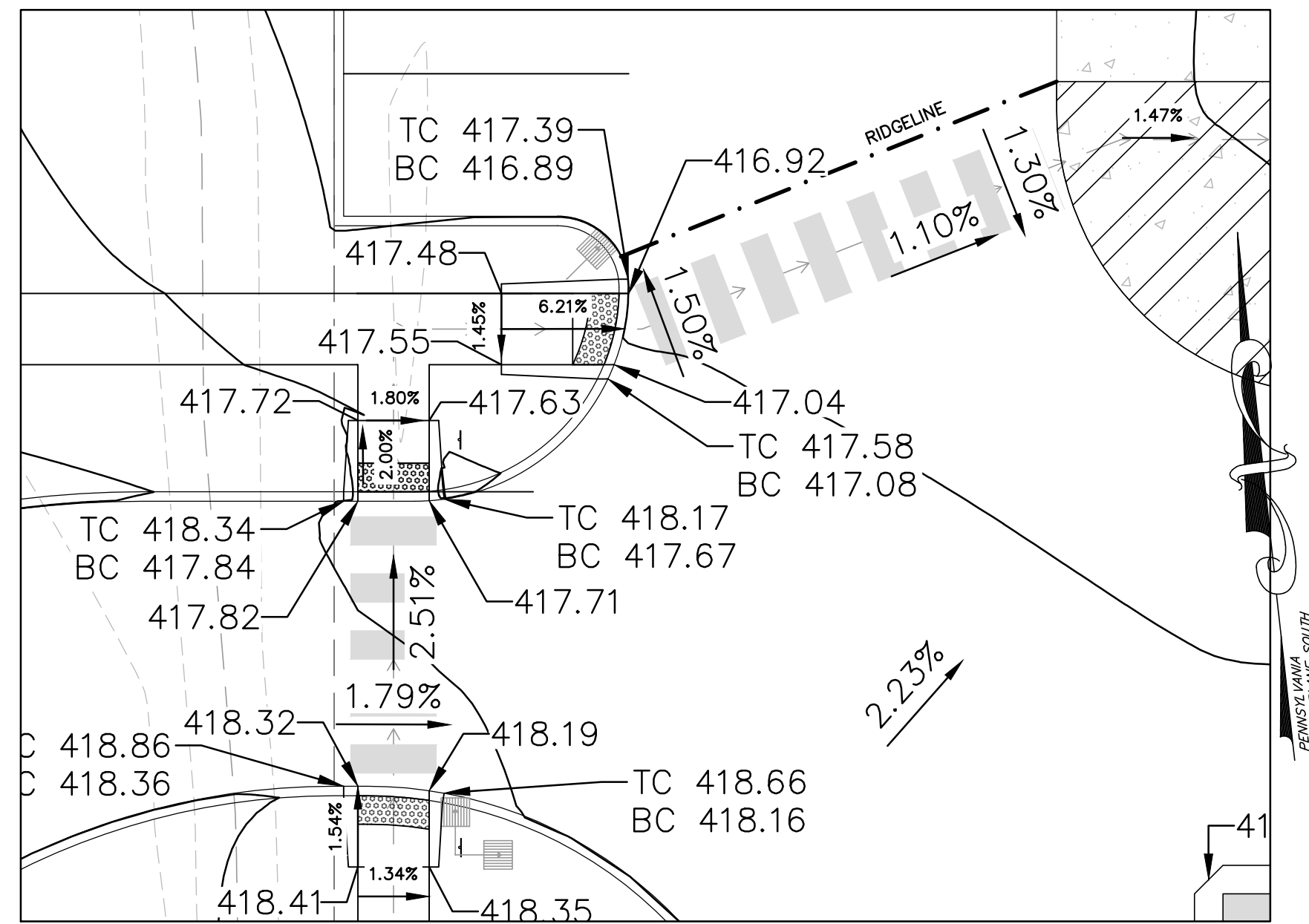
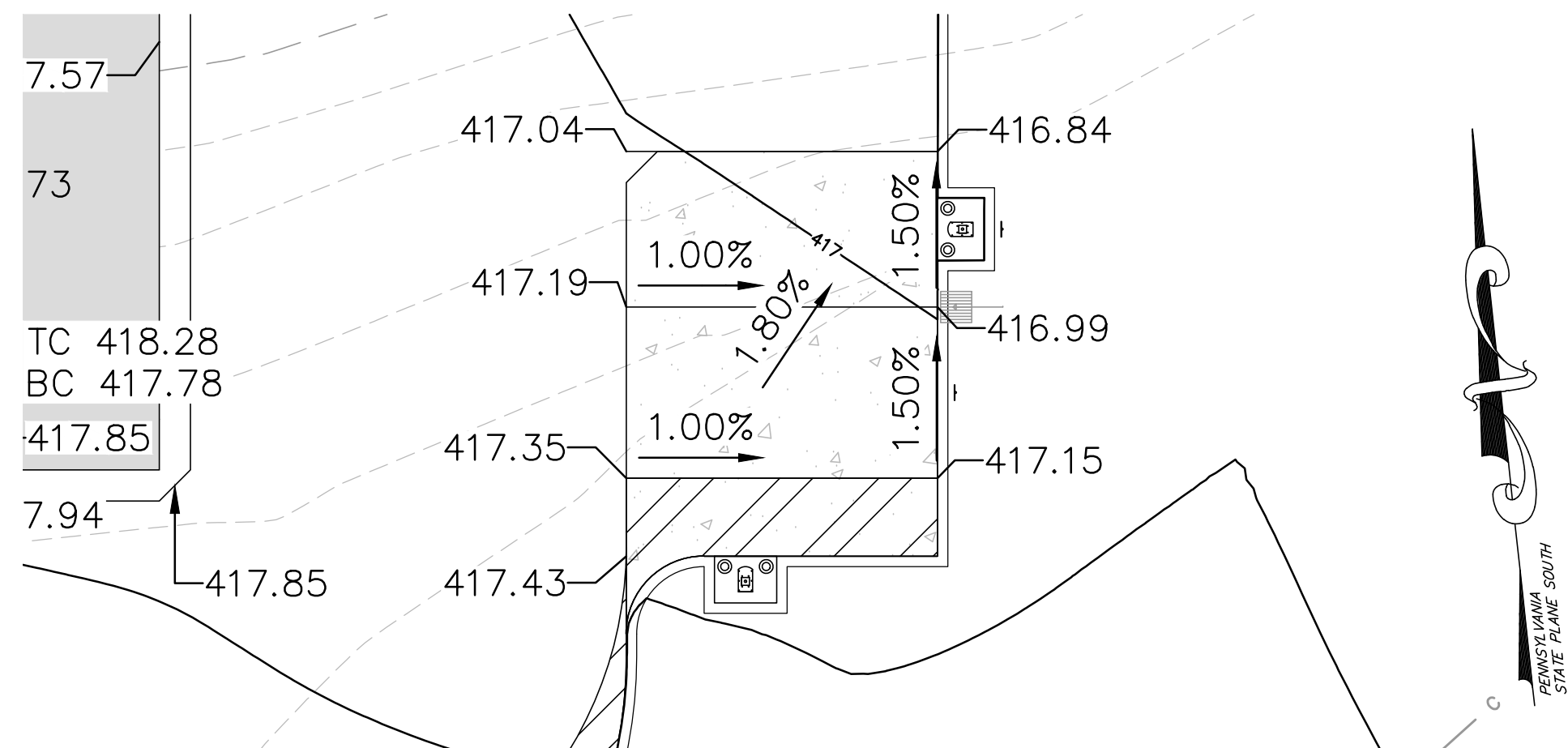
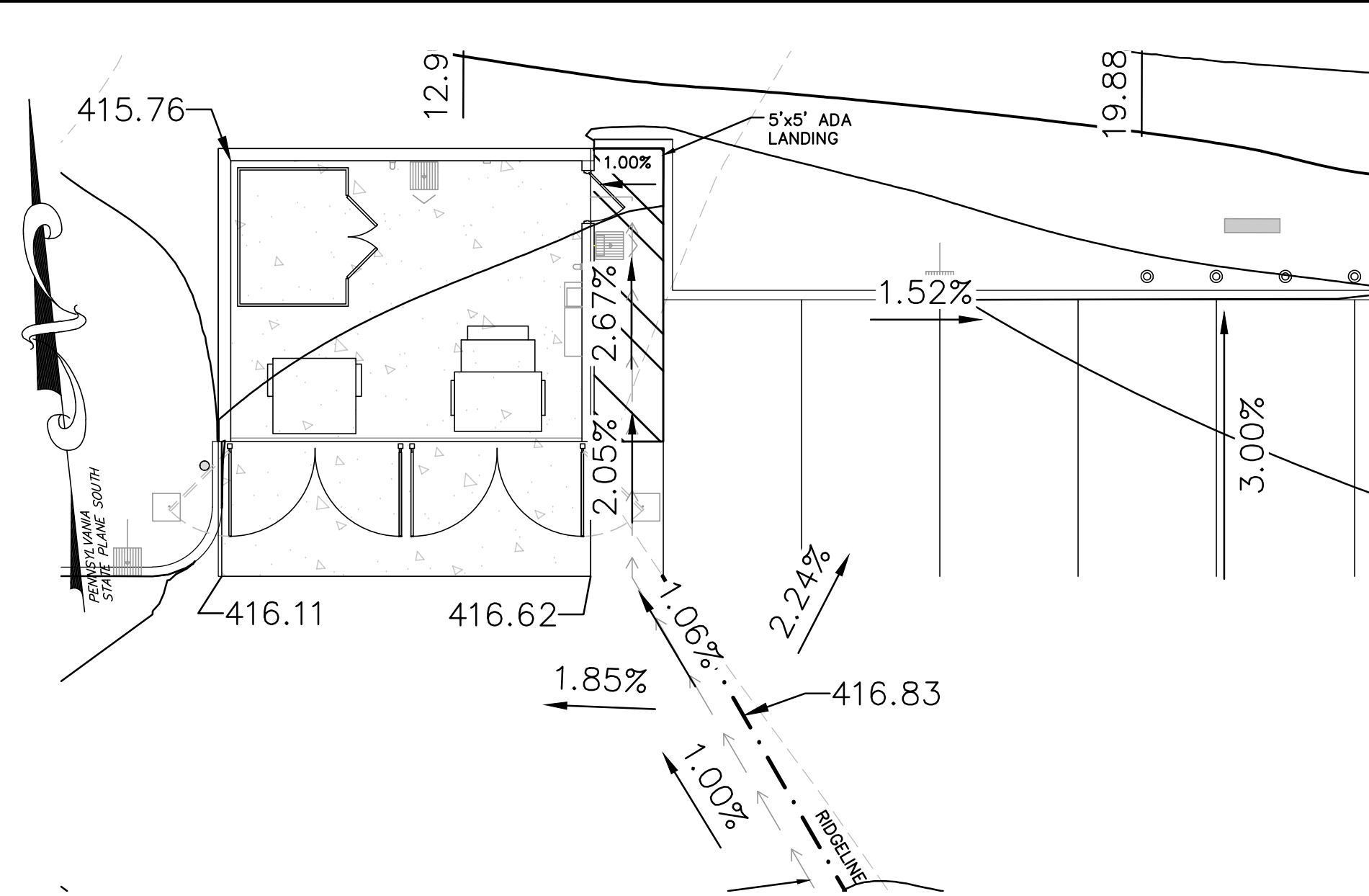
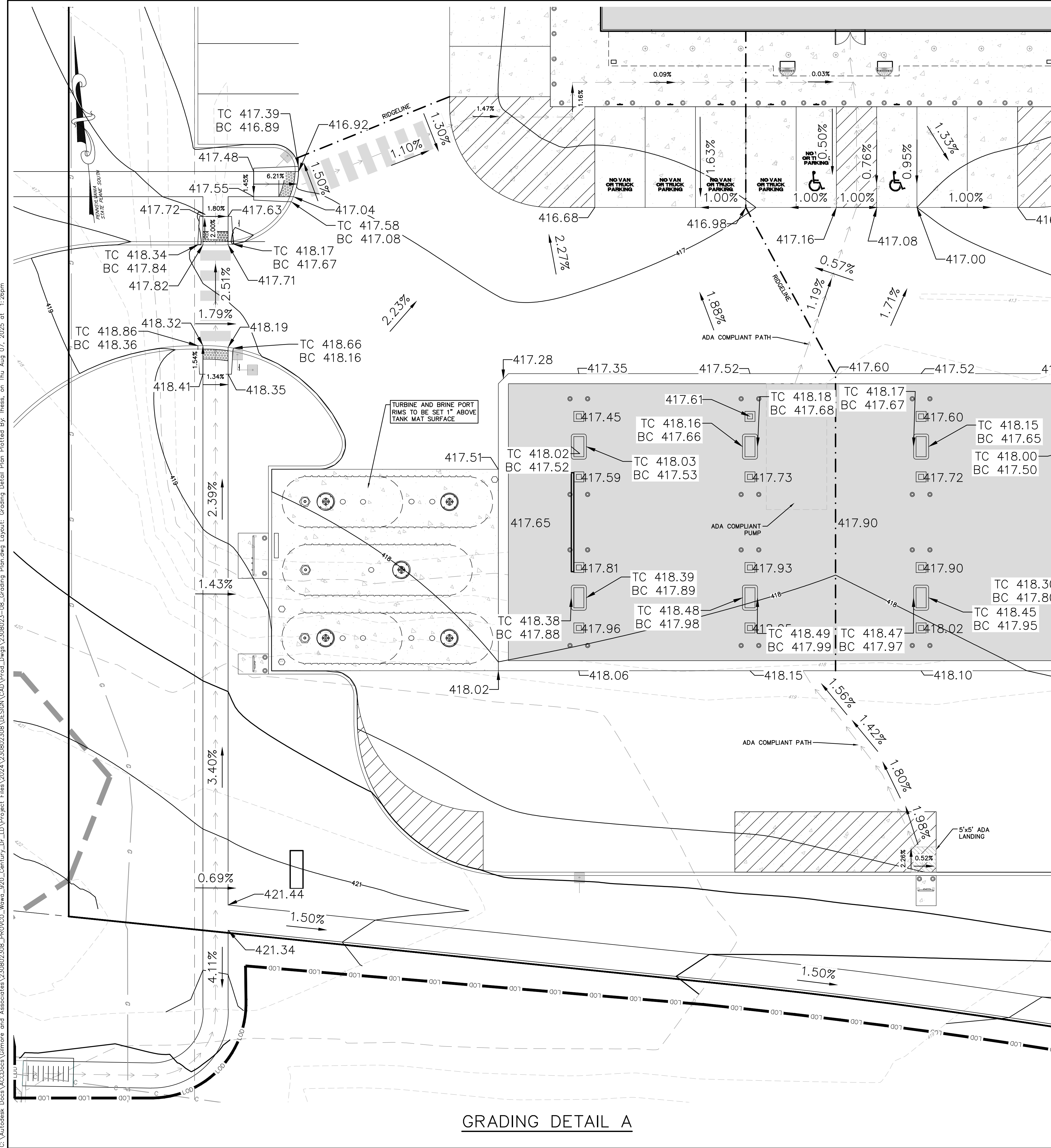
TAX MAP PARCEL NO.: 13-24-0795-173

TOTAL AREA: 2.35 AC. TOTAL LOTS: 1

DATE: 04/21/2025 SCALE: 1"=30'

DRAWN BY: LEH CHECKED BY: ESC

SHEET NO.: 3 OF 31

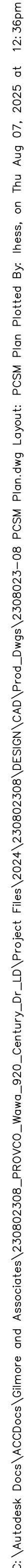


LEGEND





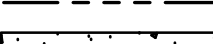








	EXISTING 1' CONTOURS		PROPOSED STORM INLET
	EXISTING 5' CONTOURS		PROPOSED SANITARY SERVICE
			PROPOSED WATER SERVICE
	EXISTING SOILS BOUNDARY / TYPE		PROPOSED ELECTRIC AND TELECOM CONDUITS
	EXISTING EDGE OF PAVEMENT		
	PROPOSED EDGE OF PAVEMENT		
	PROPOSED CONTOURS		
$238.5 \times 2.0\%$	PROPOSED SPOT ELEVATION / SLOPE		
	PROPOSED STORM SEWER		

CUT-FILL QUANTITIES:
ESTIMATED QUANTITIES NOT FOR BIDDING

NET FILL = 210,974 C.F.
= 7,800 C.Y.



LEGEND:

	EXISTING PROPERTY BOUNDARY
	EXISTING EDGE OF PAVEMENT
	EXISTING UTILITY POLE
	LEGAL RIGHT-OF-WAY LINE
	PROPOSED CONCRETE
	PROPOSED SANITARY LATERAL
	PROPOSED WATER LATERAL
	PROPOSED CONTOURS
	PROPOSED INLET
	PROPOSED OUTLET CONTROL STRUCTURE (OCS)
	PROPOSED MANHOLE
	LIMIT OF DISTURBANCE LINE
	PROJECT SITE BOUNDARY

IES/FACILITIES IN RECORDS, FIELD LOVE-GROUND WERE PERFORMED THEREFORE ALL PROXIMATE IN AL EXISTS FOR OTHER PRESENT WHICH ARE ADVERSELY AFFECTED TIME OF FIELD	I HAVE REVIEWED AND HEREBY CERTIFY THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE MUNICIPAL ORDINANCE NO. 2022-02.
MUNICIPAL OFFICIAL OR DESIGNEE _____	DATE _____
	I HAVE REVIEWED AND HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE LOWER ALLEN TOWNSHIP ACT 167 STORMWATER MANAGEMENT ORDINANCE.

ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON APRIL 28, 2018 PENNSYLVANIA ACT 50.

GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776

NON-MEMBERS MUST BE CONTACTED DIRECTLY

PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH

ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON APRIL 28, 2018 PENNSYLVANIA ACT 50.

GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

I HAVE REVIEWED AND HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE LOWER ALLEN TOWNSHIP ACT 167 STORMWATER MANAGEMENT ORDINANCE.

30 0 30 60

SCALE IN FEET

COMMONWEALTH OF PENNSYLVANIA
 REGISTERED PROFESSIONAL ENGINEER
 ERIC S. CLASE
 65713-E

REV.	DESCRIPTION	DATE	BY
1	PER UTILITY COORDINATION	05/07/25	JP
2	PER RETIEW LTR. DATED 05/13/25	05/23/25	LEH
3	PER CCCD LTR. DATED 05/27/25	06/30/25	LEH
4	PER RETIEW LTR. DATED 06/09/25	08/07/25	LEH

PRELIMINARY-FINAL LAND DEVELOPMENT

920 CENTURY DRIVE WAWA

LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

ENGINEERING & CONSULTING SERVICES

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT No.: 23080223

WAWA STORE NO. 8256

OWNERS INFO:
PROVCO PINEGROVE STORE, LLC
795 EAST LANCASTER AVE.
SUITE 200
VILLANOVA, PA 19085
610-520-4572

MUNICIPAL FILE No.: 2025-03

TAX MAP PARCEL No.: 13-24-0795-173

TOTAL AREA: 2.35 AC.
TOTAL LOTS: 1
SCALE: 1"=30'

DATE: 04/21/2025
DRAWN BY: LEH
CHECKED BY: ESC

SHEET No.: 7 OF 31

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RECEIVING SURFACE WATERS

THE ENTIRE PROJECT SITE AND DISTURBANCE AREA ARE LOCATED IN THE CEDAR RUN WATERSHED. RUNOFF FROM THIS SITE DRAINS TO CEDAR RUN (POA 001 & POA 002) WHICH HAVE A RECORD FLOOD CLASSIFICATION OF COLD WATER FISHES, MIGRATORY FISHES (CWF, WF), PER CHAPTER 93 OF THE PA CODE.

GENERAL PCSM PLANNING AND DESIGN:

I. STREAM INTEGRITY PRESERVATION – §102.8(b)(1)

THE PROPOSED SCMs, AS PART OF THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN, HAVE BEEN PLANNED AND PROVIDED IN ORDER TO PRESERVE THE INTEGRITY OF STREAM CHANNELS, AND TO MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL, AND CHEMICAL QUALITY OF THE RECEIVING STREAMS.

II. PREVENT STORMWATER RUNOFF RATE INCREASE – §102.8(b)(2)

THE PROPOSED POST CONSTRUCTION STORMWATER MANAGEMENT PLAN WILL PREVENT AN INCREASE IN STORMWATER RUNOFF RATES THROUGH THE USE OF STRUCTURAL SCMs.

III. MINIMIZE STORMWATER RUNOFF VOLUME INCREASE – §102.8(b)(3)

THE PROPOSED POST CONSTRUCTION STORMWATER MANAGEMENT PLAN WILL MINIMIZE AN INCREASE IN STORMWATER RUNOFF VOLUME THROUGH THE USE OF STRUCTURAL SCMs.

IV. MINIMIZE IMPERVIOUS AREAS – §102.8(b)(4)

THE PROPOSED DEVELOPMENT LAYOUT PROVIDES AN EFFICIENT CONFIGURATION OF IMPERVIOUS SURFACE FOR THE PROPOSED USE TO MINIMIZE IMPERVIOUS AREAS. THE PLAN ALSO DIRECTS IMPERVIOUS SURFACES AND ROOFTOPS TO VEGETATED AREAS AND STRUCTURAL SCMs.

V. MAXIMIZE DRAINAGE AND VEGETATION PROTECTION – §102.8(b)(5)

THE EXISTING DRAINAGE FEATURES AND VEGETATION SHALL BE PROTECTED TO THE MAXIMUM EXTENT PRACTICAL. TO ACHIEVE THIS GOAL, THE AREAS ON-SITE, OUTSIDE OF THE LIMITS OF DISTURBANCE ARE SUBJECT TO THE FOLLOWING CRITERIA:

- AREAS SHALL NOT BE SUBJECT TO GRADING OR MOVEMENT OF EXISTING SOIL.
- EXISTING VEGETATION IN A HEALTHY CONDITION MAY NOT BE REMOVED, INCLUDING TREES, SHRUBS, OR WELL-ESTABLISHED MEADOW/GRASS LAND COVER.
- INVASIVE NON-NATIVE VEGETATION MAY BE REMOVED.
- PRUNING OR OTHER REQUIRED MAINTENANCE OF VEGETATION IS PERMITTED. ADDITIONAL PLANTING IS PERMITTED.
- AREAS SHALL NOT BE SUBJECT TO GRADING AND DELINEATED IN THE FIELD.
- THE AREAS NOT SUBJECT TO GRADING ARE ALSO DELINEATED ON THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN. IF ANY FUTURE GRADING OR DISTURBANCE OF THESE AREAS OCCURS, SUBSEQUENT STORMWATER MANAGEMENT MUST BE PROVIDED TO ADDRESS THE ADDITIONAL DISTURBANCE.

VI. MINIMIZE LAND CLEARING AND GRADING – §102.8(b)(6)

IN ORDER TO MINIMIZE LAND CLEARING AND GRADING, THE AREAS BETWEEN TREE PROTECTION FENCING AND PROPERTY BOUNDARIES ARE SUBJECT TO THE FOLLOWING CRITERIA:

- AREAS SHALL NOT BE SUBJECT TO GRADING OR MOVEMENT OF EXISTING SOIL.
- EXISTING VEGETATION IN A HEALTHY CONDITIONS MAY NOT BE REMOVED, INCLUDING TREES, SHRUBS, OR WELL-ESTABLISHED MEADOW/GRASS LAND COVER.
- INVASIVE NON-NATIVE VEGETATION MAY BE REMOVED.
- PRUNING OR OTHER REQUIRED MAINTENANCE OF VEGETATION IS PERMITTED. ADDITIONAL PLANTING IS PERMITTED.
- AREAS SHALL BE PROTECTED AND DELINEATED IN THE FIELD.
- THE AREAS NOT SUBJECT TO GRADING ARE ALSO DELINEATED ON THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN. IF ANY FUTURE GRADING OR DISTURBANCE OF THESE AREAS OCCURS, SUBSEQUENT STORMWATER MANAGEMENT MUST BE PROVIDED TO ADDRESS THE ADDITIONAL DISTURBANCE.

VII. MINIMIZE SOIL COMPACTION – §102.8(b)(7)

THE LIMITS OF DISTURBANCE HAVE BEEN DELINEATED AS THE MINIMUM PRACTICAL AREAS AND ALL OTHER AREAS SHALL NOT BE DISTURBED AND ARE SUBJECT TO THE FOLLOWING CRITERIA:

- AREAS SHALL NOT BE SUBJECT TO GRADING OR MOVEMENT OF EXISTING SOIL.
- EXISTING VEGETATION IN A HEALTHY CONDMION MAY NOT BE REMOVE, INCLUDING TREES, SHRUBS, OR WELL-ESTABLISHED MEADOW/GRASS LAND COVER.
- INVASIVE NON-NATIVE VEGETATION MAY BE REMOVED.
- PRUNING OR OTHER REQUIRED MAINTENANCE OF VEGETATION IS PERMITTED. ADDITIONAL PLANTING IS PERMITTED.
- AREAS SHALL BE PROTECTED AND DELINEATED IN THE FIELD.

VII. OTHER SCM CONTROLS TO MINIMIZE RUNOFF – §102.8(b)(8)

OTHER STRUCTURAL BMPs SHALL BE UTILIZED TO PREVENT OR MINIMIZE THE GENERATION OF ADDITIONAL STORMWATER RUNOFF SUCH AS THE FOLLOWING:

- MRC STORAGE SYSTEM STORMWATER CONTROL MEASURE (SCM)

INDIVIDUAL SCM SEQUENCE OF CONSTRUCTION

THE PADEP CHAPTER 102 REGULATIONS WHICH BECAME EFFECTIVE NOVEMBER 19, 2010, REQUIRE A LICENSED PROFESSIONAL OR HIS/HER DESIGNEE TO BE PRESENT ON-SITE TO OBSERVE, INSPECT, AND SIGN-OFF ON THE CRITICAL STAGES OF THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN (PCSM) IMPLEMENTATION AND FACILITY INSTALLATION. THE LICENSED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT ON-SITE FOR THE FOLLOWING CRITICAL STAGES OF THE PCSM PLAN IMPLEMENTATION:

- MRC STORAGE SYSTEM STORMWATER CONTROL MEASURE (SCM)

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED, UNLESS NOTED OTHERWISE. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

AT LEAST 7 DAYS PRIOR TO START OF WORK OR EARTH DISTURBANCE ACTIVITIES, A PRE-CONSTRUCTION MEETING SHALL BE HELD INCLUDING THE OWNER, SITE CONTRACTOR, TOWNSHIP ENGINEER, CUMBERLAND COUNTY CONSERVATION DISTRICT, AND THE PLAN DESIGNER.

MRC STORAGE SYSTEM STORMWATER CONTROL MEASURE (SCM) – SEQUENCE OF INSTALLATION

- INSTALL ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS.
- THE AREA IMMEDIATELY ADJACENT TO THE BASIN MUST BE STABILIZED IN ACCORDANCE WITH THE PADEP'S EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (LATEST EDITION) PRIOR TO BASIN CONSTRUCTION.
- PREPARE SITE FOR EXCAVATION AND/OR EMBANKMENT CONSTRUCTION.
- ALL EXISTING VEGETATION SHALL REMAIN IF FEASIBLE AND SHOULD ONLY BE REMOVED IF NECESSARY FOR CONSTRUCTION.
- CARE SHOULD BE TAKEN TO PREVENT COMPACTION OF THE BASIN BOTTOM.
- IF EXCAVATION IS REQUIRED, CARE THE AREA TO BE EXCAVATED OF ALL VEGETATION, REMOVE ALL TREE ROOTS, ROCKS, AND BOLLERS ONLY IN EXCAVATION AREA.
- EXCAVATE BOTTOM OF BASIN TO DESIRED ELEVATION (IF NECESSARY).
- INSTALL SURROUNDING EMBANKMENTS AND INLET AND OUTLET CONTROL STRUCTURES.
- GRADE SUBSOIL BOTTOM OF BASIN, TAKING CARE TO PREVENT COMPACTION, COMPACT SURROUNDING EMBANKMENT AREAS AND AROUND INLET AND OUTLET STRUCTURES.
- INSTALL UPSTREAM AND DOWNSTREAM CONTROL STRUCTURES, CLEANOUTS, PERFORATED PIPING, AND ALL OTHER NECESSARY STORMWATER STRUCTURES.
- GEOTEXTILE AND BED AGGREGATE SHOULD BE PLACED IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION AND INSTALLATION OF STRUCTURES. GEOTEXTILE SHOULD BE PLACED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. ADJACENT STRIPS OF GEOTEXTILE SHOULD OVERLAP A MINIMUM OF 16 INCHES. IT SHOULD ALSO BE SECURED AT LEAST 4 FEET OUTSIDE OF BED IN ORDER TO PREVENT ANY RUNOFF OR SEDIMENT FROM ENTERING THE STORAGE BED. THE EDGE STRIP SHOULD REMAIN IN PLACE UNTIL THE BASIN IS FULLY STABILIZED AND COVERED WITH SOIL OR VEGETATION. AS THE SITE IS FULLY STABILIZED, EXCESS GEOTEXTILE ALONG BED EDGES CAN BE CUT BACK TO THE EDGE OF THE BED.
- CLEAN-WASHED, UNIFORM GRADED AGGREGATE SHOULD BE PLACED IN THE BED IN MAXIMUM 8-INCH LIFTS. EACH LAYER SHOULD BE LIGHTLY COMPACTED, WITH CONSTRUCTION EQUIPMENT KEPT OFF THE BED BOTTOM AS MUCH AS POSSIBLE.
- APPROVED SOIL MEDIA SHOULD BE PLACED OVER INFILTRATION BEDS IN MAXIMUM 6-INCH LIFTS. DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.

RECYCLING OR DISPOSAL OF MATERIALS

- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTE IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ. AND 281.1 ET SEQ. ALL WASTE SHALL BE REMOVED BY THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
 - EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE RECYCLED, ALL MATERIALS AND WASTES REMOVED FROM THE SITE SHALL BE REMOVED FROM THE SITE. MATERIALS SLATED FOR REMOVAL FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ANY AND ALL APPLICABLE MUNICIPAL OR OTHER GOVERNMENTAL AGENCY CURRENT REGULATIONS. DEBRIS SHALL NOT BE PERMITTED TO ACCUMULATE ON THE JOB-SITE. DUST AND DIRT SHALL BE HELD TO A MINIMUM DURING DEMOLITION, BY WETTING DOWN, AS REQUIRED, ON SITE BURNING OF MATERIALS WILL NOT BE PERMITTED. AT THE COMPLETION OF WORK, THE ENTIRE AREA INVOLVED WILL BE CLEAN AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL EXCESS MATERIALS, INCLUDING MATERIALS ASSOCIATED WITH OR FROM THIS PROJECT SITE SHALL BE UNDERTAKEN IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
 - SEDIMENT REMOVED FROM CONTROL FACILITIES AS A PART OF REGULAR MAINTENANCE SHALL BE DISPOSED OF UPON THE CONTROL FACILITY.
- THE FOLLOWING IS A LIST THAT INCLUDES, BUT THAT IS NOT LIMITED TO, THE POTENTIAL PROJECT WASTES SPECIFIC TO PCSM SCMs AND/OR PROJECT CONSTRUCTION:
- CONCRETE
 - STONE, GRAVEL, AND/OR ROCK
 - TOP SOIL AND SUBSURFACE SOILS
 - TREES, SHRUBS, WEEDS, VEGETATION
 - MISCELLANEOUS TRASH AND DEBRIS

SEQUENCE OF CONSTRUCTION:

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED, UNLESS NOTED OTHERWISE. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

AT LEAST 7 DAYS PRIOR TO START OF WORK OR EARTH DISTURBANCE ACTIVITIES, A PRECONSTRUCTION MEETING SHALL BE HELD INCLUDING THE OWNER, SITE CONTRACTOR, TOWNSHIP ENGINEER, CUMBERLAND COUNTY CONSERVATION DISTRICT, DESIGNATED LICENSED PROFESSIONAL ENGINEER, AND THE PLAN DESIGNER.

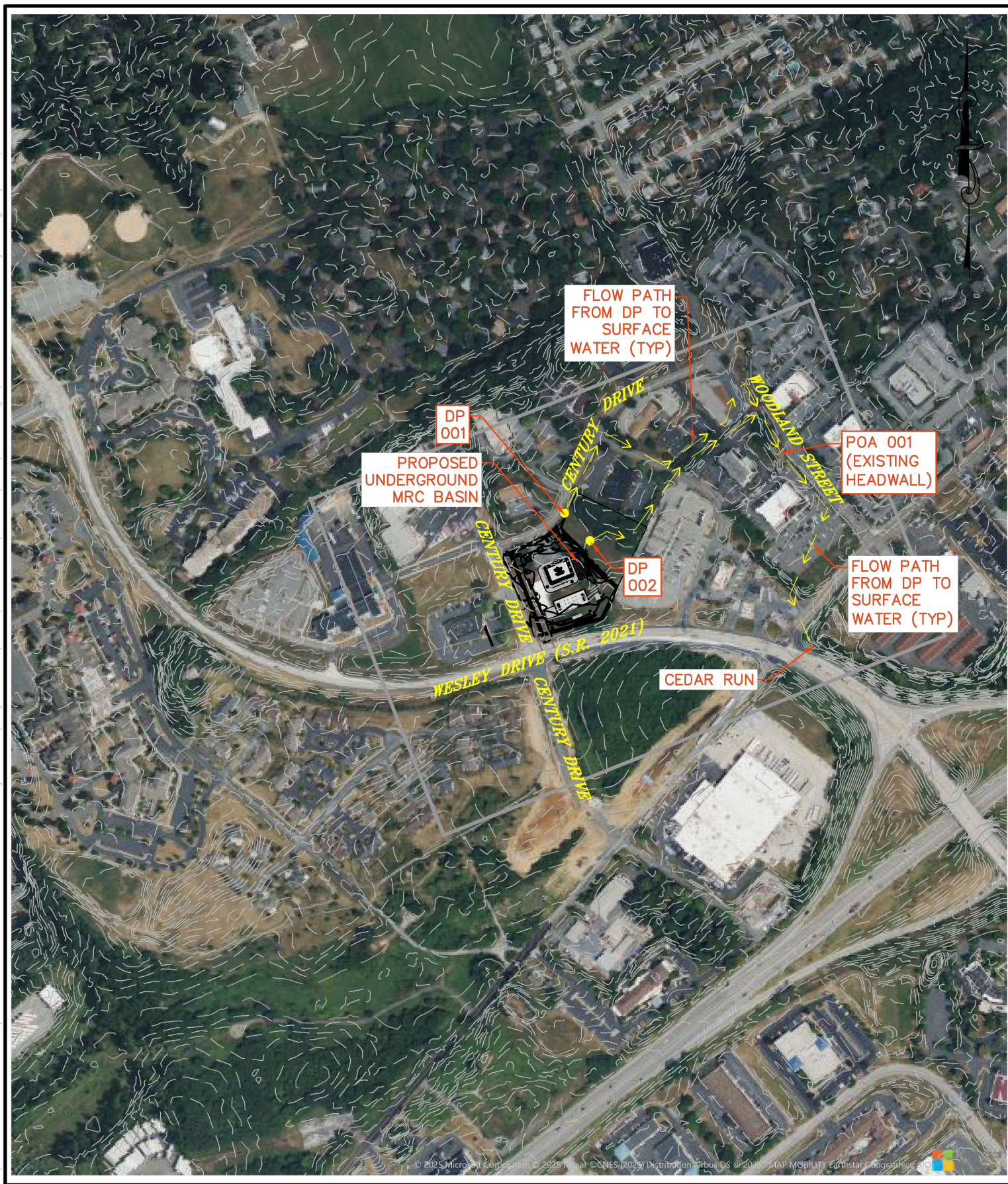
AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1778 FOR BURIED UTILITY LOCATIONS. DURING CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE TOWNSHIP ENGINEER'S OFFICE THREE (3) DAYS PRIOR TO THE CONSTRUCTION OF THE PROPOSED BMP STORMWATER MANAGEMENT FACILITIES.

CESSATION OF CONSTRUCTION ACTIVITIES FOR AT LEAST FOUR (4) DAYS SHALL REQUIRE TEMPORARY STABILIZATION FOR ALL DISTURBED AREAS.

- CLEARLY MARK THE LIMITS OF DISTURBANCE (LOD) WITH SURVEY STAKES AND 48-INCH HIGH SNOW FENCE, AS APPROPRIATE, PRIOR TO THE INITIATION OF EARTH DISTURBANCE ACTIVITIES.
- INSTALL ALL TREE PROTECTION FENCING AS SHOWN ON THE PLANS PRIOR TO INITIATION OF EARTH DISTURBANCE ACTIVITIES. TREE PROTECTION FENCING SHALL BE CHECKED DAILY AT THE BEGINNING OF THE WORK DAY. REPLACEMENT FENCING IN KIND SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY. ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF COMPOST FILTER SOCK OCCURS DUE TO CONCENTRATED FLOW.
- PERMETER CONTROL MEASURES:
 - INSTALL ROCK CONSTRUCTION ENTRANCE (50-FT LENGTH)
 - INSTALL COMPOST FILTER SOCKS AS SHOWN ON THE PLANS. COMPOST FILTER SOCKS SHALL BE CHECKED DAILY AT THE BEGINNING OF THE WORK DAY. REPLACEMENT SOCKS IN KIND SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY. ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF COMPOST FILTER SOCK OCCURS DUE TO CONCENTRATED FLOW.
- THE PERMITTEE MUST INFORM THE CUMBERLAND COUNTY CONSERVATION DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OF ANY EROSION AND SEDIMENT CONTROL FACILITIES AS SET FORTH IN THE CONSTRUCTION SEQUENCE HAVE BEEN CONSTRUCTED, STABILIZED, AND ARE FUNCTIONAL BEFORE EARTH DISTURBANCE IN ANY AREA. EACH STEP OF THE SEQUENCE MUST BE COMPLETED PRIOR TO ADVANCING TO THE NEXT STEP.
- EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE ANY GENERAL SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS.
- ALL EROSION CONTROL DEVICES SHALL BE CHECKED WEEKLY (OR DAILY IF SPECIFIED) AND AFTER EACH RAIN EVENT. ALL PREVENTATIVE REMEDIAL MAINTENANCE WORK INCLUDING REPAIR, REPLACEMENT, RE-GRADING, RESEEDING, REMULCHING, AND RENETTING SHALL BE PERFORMED IMMEDIATELY.
- SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS WELL AS TO PREVENT EROSION. SPECIAL ATTENTION SHALL BE GIVEN TO PROTECT SLOPES. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE, AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
- CLEAR AND GRUB REMAINS WITHIN STAKED-OUT LIMIT OF DISTURBANCE. STRIP AND STOCKPILE TOPSOIL PER PLAN LOCATION. IMMEDIATELY APPLY TEMPORARY SEEDING AND MULCH TO THE STOCKPILE. COMPOST FILTER SOCKS SHALL BE CHECKED DAILY AT THE BEGINNING OF THE WORK DAY. REPLACEMENT SOCKS IN KIND SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.
- REMOVE ALL OTHER EXISTING IMPROVEMENTS AND CLEAR AND GRUB REMAINDER OF THE STAKED-OUT LIMIT OF DISTURBANCE CONSTRUCTION AREA AS DELINEATED ON THE PLAN. DISTURBED AREAS TO BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH.
- INSTALL CONCRETE WASHOUTS AS SHOWN ON THE PLANS.
- ROUGH GRADE SITE. CONTRACTOR TO ADJUST UPSLOPING PORTIONS OF THE ALL COMPOST FILTER SOCKS TO ACCOUNT FOR ELEVATION CHANGES FROM EXISTING TO PROPOSED LAND SLOPES. SOCKS SHALL BE CHECKED FOR DAMAGE AND RESTORED TO ENSURE PROPER FUNCTIONALITY. INSTALL PROPOSED DRAINAGE SWALES AS SHOWN ON THE PLANS. INSTALL EROSION CONTROL SLOPE AND SWALE MATING AS SHOWN ON THE PLANS.
- NO IMPERVIOUS SURFACES SHALL BE CREATED UNTIL THE PROPOSED STORMWATER CONTROL MEASURE (SCM) IS INSTALLED AND PROPERLY FUNCTIONING.
- RUNOFF SHALL NOT BE DIRECTED TO THE PROPOSED MRC STORAGE SYSTEM SCM UNTIL ALL TRIBUTARY DRAINAGE AREAS ARE STABILIZED.
- CONSTRUCT PROPOSED MRC STORAGE SYSTEM SCM #1 (CRITICAL STAGE):
 - EXCAVATE AND INSTALL PIPING, CHAMBERS, UNDERDRAIN, STONE, FABRIC JUNCTIONS, REINFORCEMENTS, OUTLET STRUCTURES, AND ALL OTHER ASSOCIATED FEATURES PER DESIGN. CARE IS TO BE TAKEN TO NOT COMPACT THE SUBSURFACE BASIN BOTTOM.
 - CONTRACTOR TO PROVIDE AS-BUILT INVERTS, ELEVATIONS, TOP OF GRATES, ETC. ON ALL FEATURES AS THEY ARE INSTALLED FOR THE SUBSURFACE BASIN AND OUTLET STRUCTURE.
 - BACKFILL AREA OF BASIN INSTALLATION PER SPECIFICATIONS.
 - INSTALL 48"-HIGH SNOW FENCING AROUND THE PERIMETER OF THE BASIN AS SHOWN ON THE PLANS TO PROTECT FROM CONSTRUCTION TRAFFIC. THE SNOW FENCE SHALL BE STABILIZED AND COMPLY WITH THE SUBSURFACE PCSM SCM UNTIL ALL DRAINAGE AREAS TO SCM ARE COMPLETELY STABILIZED.
 - INSTALL INLETS AND STORM PIPING DRAINING TO THE BASIN. INSTALL TEMPORARY INLET PROTECTION FILTERS ON INLETS AS THEY ARE INSTALLED.
- DESIGNED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT ON THE PROJECT SITE DURING INSTALLATION OF THESE BMPs.
- INSTALL REMAINING INLETS AND STORM SEWERS IN A DOWNSTREAM-TO-UPSTREAM MANNER. INSTALL TEMPORARY INLET FILTER PROTECTION AS INLETS ARE INSTALLED.
- INSTALL SANITARY WATER, ELECTRIC, TELECOM, UTILITIES AND/OR OTHER SERVICES.
- FINAL GRADE PAVEMENT AREAS AND INSTALL STONE AND BINDER COURSES. INSTALL REMAINING IMPROVEMENTS ON-SITE.
- THE CONSTRUCTION OF THE BUILDING MAY BEGIN WHEN THE PAD HAS BEEN APPROVED BY THE OWNER.
- ALL RUNOFF FROM THE SITE MUST BE TREATED UNTIL THE SITE IS STABILIZED.
- THE CUMBERLAND COUNTY CONSERVATION DISTRICT TO BE CONTACTED PRIOR TO CONVERSION OR REMOVAL OF PRIMARY E&S BMPs, INCLUDING COMPOST SOCKS. THE DISTRICT MAY REQUEST A SITE INSPECTION PRIOR TO THE CONVERSION OR REMOVAL OF SUCH FACILITIES.
- CONTRACTOR SHALL FLUSH SEDIMENT ACCUMULATED FROM THE CONSTRUCTION ACTIVITIES FROM ALL SITE STORMWATER SYSTEMS AND TOWNSHIP OWNED FACILITIES.
- MAINTENANCE OF SEEDED OR SODDED AREAS TO BE SUCH THAT AREAS WHICH WASH OUT OR ERODE ARE REPLACED OR REPAIRED UNTIL SOD IS ESTABLISHED. SOD OF EACH SQUARE YARD OF DISTURBED SOIL ON SITE WILL BE COVERED EVENLY WITH VEGETATION.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED (70% UNIFORM STABILIZATION OF DISTURBED SOIL ON SITE WILL BE COVERED WITH VEGETATION), TEMPORARY EROSION CONTROLS INCLUDING COMPOST FILTER SOCK MUST BE REMOVED UNTIL THE SITE HAS BECOME DISTURBED DURING REMOVAL OF THE CONTROLS. THEY MUST BE IMMEDIATELY STABILIZED.
- AFTER COMPLETING ALL PUNCHLIST ITEMS TO THE SATISFACTION OF THE TOWNSHIP ENGINEER, INSTALL WEARING COURSE OR TOP COURSE FOR CONCRETE PAVEMENT OR CONCRETE PAVES.
- AS-BUILT DRAWINGS OF THE MRC STORAGE SYSTEM SCM AND ALL ASSOCIATED FEATURES SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL. THE SCM WILL NOT BE CONSIDERED FUNCTIONAL UNTIL IT IS PROVED THAT THE SCM MEETS THE VOLUME REQUIREMENTS AND OUTFLOW CHARACTERISTICS OF THE ORIGINAL DESIGN OF THE SCM.
- SUBMIT THE NOTICE OF TERMINATION (N.O.T.) ALONG WITH SIGNED RECORD DOCUMENTS AS REQUIRED TO CLOSE THE NPDES PERMIT.

PCSM NOTES

- SOLS INFORMATION TAKEN FROM USDA-NRCS "WEB SOIL SURVEY OF CUMBERLAND COUNTY".
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/PLUMBING PRIOR TO STARTING WORK. CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287, DECEMBER 10, 1974 AS LAST AMENDED ON OCTOBER 9, 2008, PENNSYLVANIA ACT 121. GILMORE & ASSOCIATES INC. HAS OBTAINED PA-ONE CALL SERIAL NUMBER(S) AS ALL EXISTING UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION.
- ALL CONTRACTORS WORKING ON THE PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THE PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
- ALL CONSTRUCTION REQUIREMENTS AND MATERIAL SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND DETAILS OF CUMBERLAND TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCES, PADEP AND/OR PENNDOT PUB 408, LATEST EDITION, AND PA-UCC WHERE APPLICABLE.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARDS FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ANY SLOPE EQUAL TO OR GREATER THAN FOUR HORIZONTAL TO ONE VERTICAL (4:1) SHALL RECEIVE A STEEP SLOPE SEED MIXTURE AND BE PROTECTED WITH EROSION CONTROL MATTING BY NORTH AMERICAN GREEN OR APPROVED EQUAL. SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS AND LOCATIONS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT SATISFACTORY CONSTRUCTION.
- A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE REDISTRIBUTED OVER ALL DISTURBED AREAS OF THE SITE, WITH THE EXCEPTION OF PAVED AND PROPOSED BUILDING AREAS. SURFACE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 5-12" PRIOR TO SPREADING OF TOPSOIL.
- BURYING OF CONSTRUCTION DEBRIS AND STUMPS ON THE SITE IS PROHIBITED.
- PROJECT WASTES FROM THE IMPERVIOUS SURFACES WITHIN THIS SITE ARE MITIGATED IN SEVERAL WAYS. FIRST, THE PROPOSED LAWN AREAS ARE TURBULENT FLOW AREAS AND THEREFORE ENERGY (HEAT) IS RELEASED FROM THE WATER AS IT FLOWS OVER THE LAWN AREAS. ADDITIONALLY, THE PROPOSED STORM SEWER PIPING IS LOCATED UNDERGROUND WHERE TEMPERATURES ARE NATURALLY COOLER. LASTLY, THE PROPOSED STORMWATER MANAGEMENT SCM IS LOCATED UNDERGROUND WHERE TEMPERATURES ARE NATURALLY COOLER. THE COMBINATION OF THESE FACTORS WILL REDUCE THE THERMAL IMPACTS OF THE SITE, PREVENTING ANY NEGATIVE IMPACTS TO THE RECEIVING WATERCOURSE.
- INLETS EXCEEDING 5' IN DEPTH SHALL BE EQUIPPED WITH STEPS CASC INTO THE WALL OF THE INLET EXCEED 5' IN DEPTH IN ACCORDANCE WITH PENNDOT SPECIFICATIONS.
- ALL INLETS SHALL HAVE BICYCLE-SAFE, STRUCTURAL STEEL GRATES.
- THE TOWNSHIP ENGINEER SHALL BE NOTIFIED FORTY EIGHT (48) HOURS PRIOR TO THE INSTALLATION OF THE SUBSURFACE DETENTION BASIN, AND PRIOR TO THE START OF EARTHMOVING ACTIVITIES.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE IN REGARDS TO ANY IMPROVEMENT ON-SITE OR OFFSITE.
- ALL CONCRETE CURBING TO HAVE A 6" REVEAL, UNLESS OTHERWISE NOTED. ALL CURB RADI SHALL HAVE A FIVE (5') FOOT RADII UNLESS OTHERWISE NOTED.
- NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY EXISTING STORMWATER BMP WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM.
- NO PERSON SHALL PLACE ANY STRUCTURES, FILL, LANDSCAPING, OR VEGETATION INTO A STORMWATER SCM OR WITHIN A DRAINAGE EASEMENT, WHICH WOULD LIMIT OR ALTER THE FUNCTIONING OF THE BMP, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
- THE MUNICIPALITY SHALL HAVE THE RIGHT TO ENTER PRIVATE PROPERTY TO INSPECT AND REPAIR, IF NECESSARY, ANY STORMWATER MANAGEMENT FACILITY.
- THE STORMWATER MANAGEMENT FACILITIES ARE A PERMANENT PART OF THE DEVELOPMENT AND SHALL NOT BE REMOVED, ALTERED, OR MODIFIED, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY AND CONSERVATION DISTRICT.
- THE PCSM PLAN, INSPECTION REPORTS, AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY PADEP OR THE CUMBERLAND COUNTY CONSERVATION DISTRICT.



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901 • (610) 345-4330

EP ANALYSIS
920 CENTURY DRIVE
WAWA
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY
PENNSYLVANIA

DRAWN BY: JP **JOB NO.:** 2309023-08 **DATE:** 04/23/2025 **SCALE:** 1"=500'

PCSM SHORT AND LONG-TERM OPERATION AND MAINTENANCE REQUIREMENTS:

UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED A WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE DURING THE SHORT TERM FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSM SCMs ON THE PROJECT SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE. THE DEPARTMENT OF CONSERVATION DISTRICT WILL CONDUCT A FINAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION WITHIN 30 DAYS.

THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM SCMs UNLESS A DIFFERENT PERSON IS IDENTIFIED IN THE NOTICE OF TERMINATION AND HAS AGREED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSM SCMs.

FOR ANY PROPERTY CONTAINING A PCSM SCM, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSM SCM AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSM SCM, PROVIDE FOR NECESSARY ACCESS RELATED TO LONG-TERM OPERATION AND MAINTENANCE FOR PCSM SCMs AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM SCM IS A COVENANT THAT RUNS WITH THE LAND AND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEES, AND PROVIDE PROOF OF FILING WITH THE NOTICE OF TERMINATION UNDER 102.7(b)(5) (RELATING TO PERMIT TERMINATION).

THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE MAY ENTER INTO AN AGREEMENT WITH ANOTHER PERSON, INCLUDING A CONSERVATION DISTRICT, NONPROFIT ORGANIZATION, MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION, OR OTHER PERSON, TO TRANSFER THE RESPONSIBILITY FOR PCSM SCMs OR TO PERFORM LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM SCMs LOCATED ON THE PROPERTY.

A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM SCM OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM SCMs LOCATED ON THE PROPERTY.

SCMs SHOULD BE INSPECTED AT LEAST ONE (1) TIME PER YEAR AND AFTER RUNOFF EVENTS OF 0.5-INCHES OR GREATER.

THE PCSM SCMs MUST BE INSPECTED AND MAINTAINED AS NOTED UNDER THE INSPECTION, MAINTENANCE AND/OR REPLACEMENT PLAN NOTES, AND THE INDIVIDUAL OPERATION AND MAINTENANCE NOTES AS INDICATED ON THE PLANS. THIS INCLUDES REPAIRS AND REPLACEMENT IF REQUIRED TO ENSURE THEY FUNCTION/OPERATE PROPERLY.

A WRITTEN REPORT DOCUMENTING EACH INSPECTION AND ALL BMP REPAIRS AND MAINTENANCE ACTIVITIES MUST BE COMPLETED AND MADE AVAILABLE FOR PADEP OR CCDD PAF FOR REVIEW.

GEOLOGIC FORMATIONS OR SOIL CONDITIONS

THERE ARE NO KNOWN GEOLOGIC OR SOIL CONDITIONS KNOWN TO CAUSE POLLUTION DURING EARTH DISTURBANCE ACTIVITIES. IF ANY POTENTIAL FOR POLLUTION IS IDENTIFIED, IMMEDIATELY CONTACT THE LOWER ALLEN TOWNSHIP ENGINEER AND THE LANDOWNER TO AVOID, MINIMIZE, AND MITIGATE ANY POLLUTION. FOR INFORMATION REGARDING KARST GEOLOGY, SEE ASSOCIATED KARST ASSESSMENT REPORT

POTENTIAL THERMAL IMPACTS

THERMAL IMPACTS FROM THE IMPERVIOUS SURFACES WITHIN THIS SITE ARE MITIGATED IN SEVERAL WAYS. FIRST, THE PROPOSED LAWN AREAS ARE TURBULENT FLOW AREAS AND THEREFORE ENERGY (HEAT) IS RELEASED FROM THE WATER AS IT FLOWS OVER THE LAWN AREAS. ADDITIONALLY, THE PROPOSED STORM SEWER PIPING IS LOCATED UNDERGROUND WHERE TEMPERATURES ARE NATURALLY COOLER. LASTLY, THE PROPOSED STORMWATER MANAGEMENT SCM IS LOCATED UNDERGROUND WHERE TEMPERATURES ARE NATURALLY COOLER. THE COMBINATION OF THESE FACTORS WILL REDUCE THE THERMAL IMPACTS OF THE SITE, PREVENTING ANY NEGATIVE IMPACTS TO THE RECEIVING WATERCOURSE.

RIPARIAN FOREST BUFFER MANAGEMENT PLAN:

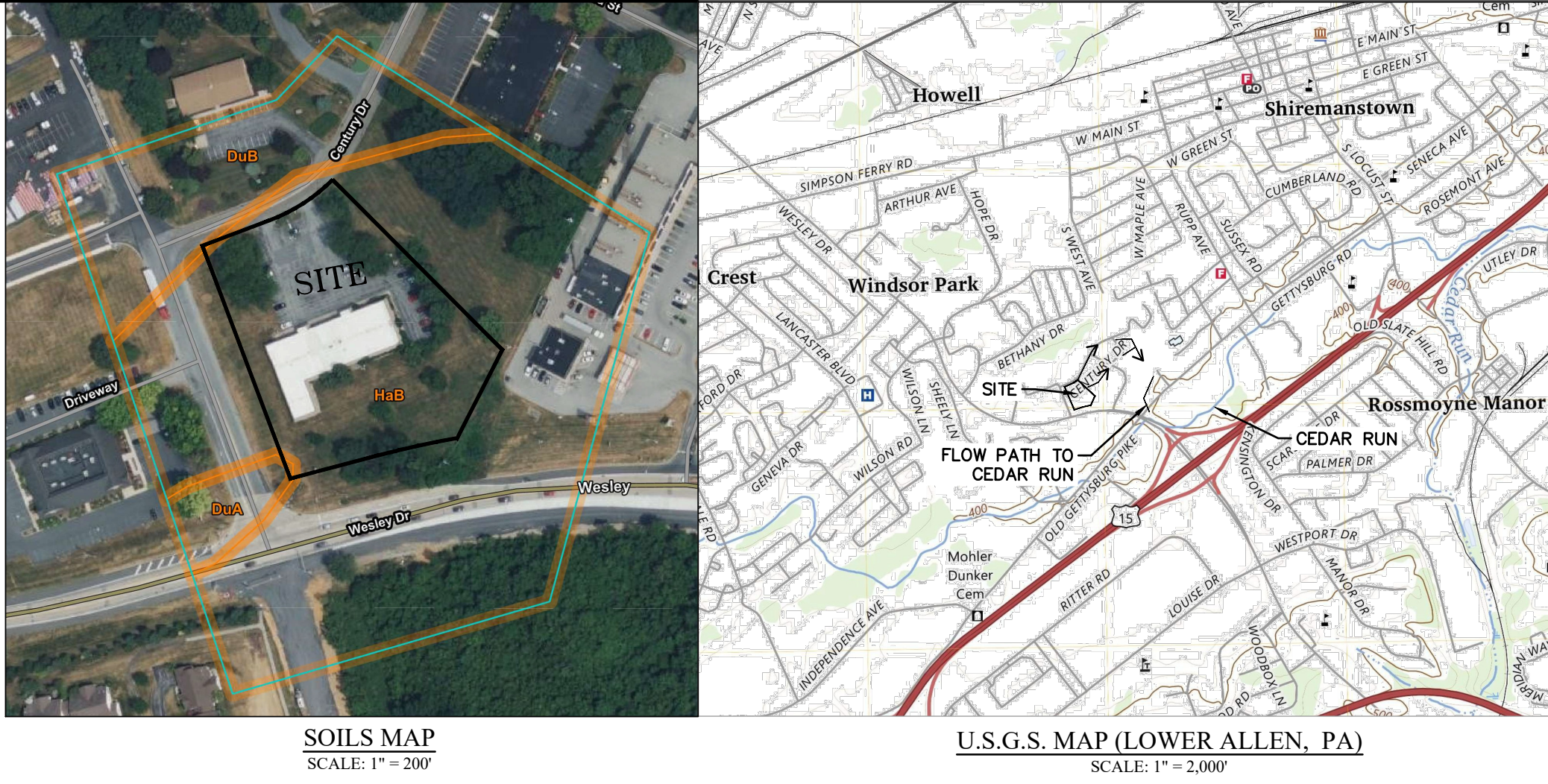
THERE ARE NO AREAS OF HIGH QUALITY (HQ) OR EXCEPTIONAL VALUE (EV) WATERSHEDS ON THE PROPERTY SITE, NOR DOES ANY AREA OF RAINY CONSERVATION DISTRICT FOR EROSION, RIPARIAN, OR BUFFER, RIPARIAN FOREST BUFFER, OR EQUIVALENCY DEMONSTRATION ARE NOT REQUIRED NOR APPLICABLE AS PART OF THIS PROJECT.

ANTIDEGRADATION ANALYSIS:

THERE ARE NO AREAS OF HIGH QUALITY (HQ) OR EXCEPTIONAL VALUE (EV) WATERSHEDS ON THE PROPERTY SITE, NOR DOES ANY AREA OF THE PROPERTY FLOW TO AN HQ OR EV WATERSHED. THEREFORE, ANTIDEGRADATION ANALYSIS IS NOT APPLICABLE FOR THIS SITE. HOWEVER, ABACT PCSM AND E&S BMPs ARE UTILIZED ON-SITE AND ANALYSIS IS INCLUDED ON THE APPLICATIONS AND IN THE PCSM AND E&S REPORTS.

E&S PLAN AND PCSM PLAN CONSISTENCY

THE EROSION AND SEDIMENT CONTROL PLAN AND THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN HAVE BEEN PROVIDED SEPARATELY; HOWEVER, THEY HAVE BEEN PLANNED, DESIGNED, AND IMPLEMENTED TO BE CONSISTENT WITH ONE ANOTHER. THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN IS PROVIDED AS PART OF THE PCSM REPORT AND THE EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PROVIDED AS PART OF A SEPARATE E&S CONTROL REPORT.



LONG-TERM OPERATION AND MAINTENANCE SCHEDULE FOR PCSM SCMs:

OPERATION AND MAINTENANCE PROGRAM

- THE PERMITTEE IS TO PROVIDE PROOF BY THE DESIGN ENGINEER OR ON-SITE INSPECTOR THAT MAJOR DRAINAGE STRUCTURES AND CONTROLS HAVE BEEN CONSTRUCTED AS DESIGNED.
- MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES AND OTHER FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER MAY DELEGATE AUTHORITY FOR MAINTAINING THE MAINTENANCE TO OTHER INDIVIDUALS OR CONTRACTORS, BUT THE ULTIMATE RESPONSIBILITY FOR PROPER MAINTENANCE IS THE PROPERTY OWNER.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE DONE IMMEDIATELY IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS TO THOSE INSTALLED WILL BE REQUIRED.
- A WRITTEN REPORT DOCUMENTING EACH INSPECTION AND ALL BMP REPAIR AND MAINTENANCE ACTIVITIES SHALL BE COMPLETED FOR EACH POST CONSTRUCTION STORMWATER MANAGEMENT BMP AND INSPECTION/REPAIR ACTIVITY.
- SEDIMENT SHALL BE REMOVED FROM STORMWATER BMPs WHEN IT HAS ACCUMULATED TO A DEPTH OF 6 INCHES. COLLECTED SEDIMENT SHALL BE SPREAD ELSEWHERE (IN AREAS UNDER CONSTRUCTION) DURING CONSTRUCTION AND STABILIZATION. SEEDING AND MULCHING OF SLOPES SHALL CONFORM TO THE RECOMMENDATIONS WITHIN OR APPROVED EQUAL. TOPSOIL (MINIMUM 6 INCHES) SHALL BE PLACED PRIOR TO SEEDING.
- THE STORMWATER BMPs AND WATER QUALITY FEATURES ARE TO BE MAINTAINED AND THE OUTLET STRUCTURES CHECKED AND REPAIRED IF NECESSARY.
- MAINTENANCE OF THE STORMWATER BMPs AND OTHER FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF RECORD. THE OWNER OF RECORD MAY DELEGATE AUTHORITY FOR MAINTAINING THE MAINTENANCE TO OTHER INDIVIDUALS OR CONTRACTORS BUT THE ULTIMATE RESPONSIBILITY FOR PROPER MAINTENANCE IS THE OWNER OF RECORD.
- MAINTENANCE OF THE STORMWATER BMPs AND OTHER FACILITIES WITHIN THE EXISTING 20' WIDE DRAINAGE EASEMENT ON TMP: 13-24-0795-182 SHALL BE THE RESPONSIBILITY OF THE OWNER OF RECORD OF TMP: 13-24-0795-173. THE OWNER OF RECORD MAY DELEGATE AUTHORITY FOR MAINTAINING THE MAINTENANCE TO OTHER INDIVIDUALS OR CONTRACTORS BUT THE ULTIMATE RESPONSIBILITY FOR PROPER MAINTENANCE IS THE OWNER OF RECORD.
- VEGETATION SHALL BE MOWED WHENEVER NECESSARY TO MAINTAIN A PLEASING APPEARANCE AND DISCOURAGE WEED GROWTH. ALL LOCAL REGULATIONS WILL BE COMPLIED WITH.
- AREAS THAT CONTAIN SOD SHALL BE CHECKED CAREFULLY TO ENSURE THE JOINTS BETWEEN SOD STRIPS ARE TIGHT AND SECURE, WHERE JOINT SEPARATION IS EVIDENT, A CAREFUL INSPECTIONS OF EACH STRIP SHALL BE MADE TO DETERMINE WHETHER UNDERMINING OF THE STRIPS IS OCCURRING. IF IT IS, THE STRIPS SHALL BE ROLLED UP, THE SUBSURFACE SHALL BE FILLED AND GRADED AS REQUIRED AND THE SOD STRIPS SHALL BE RE-LAND WITH TIGHT JOINTS AND PEGGING.
- SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED AS NECESSARY AND THEN RESEDED. A BURLAP OR STRAW COVER WILL BE APPLIED AT A RATE OF 3 TONS/ACRE TO RETAIN THE SEED UNTIL IT HAS A CHANCE TO ROOT PROPERLY.
- THE ABOVE PROCEDURE SHALL BE REPEATED AFTER EACH SIZEABLE STORM (AT LEAST ONE-HALF INCH OR MORE) UNTIL NO MORE SIGNS OF EROSION ARE EVIDENT. AT WEEKLY INTERVALS THEREAFTER, INSPECTION AND NECESSARY CLEANING WILL BE DONE. PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RESEEDING, REMULCHING AND RENETTING MUST BE DONE IMMEDIATELY.
- TRASH REMOVED FROM THE CONTROL DEVICES SHALL BE DISPOSED OF AT A PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION APPROVED DISPOSAL AREA. THERE WILL BE NO BURNING OR BURYING OF WASTE ON THE SITE. SILT THAT HAS ACCUMULATED SHALL BE REMOVED AND USED AS FILL WHENEVER REQUIRED ON THE SITE.
- ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AT COMPLETION OF THE PROJECT AFTER ALL EXPOSED SOIL SURFACES ARE FINISH GRADED AND STABILIZED. UPON REDUCTION, LOSS, OR FAILURE OF ANY BMP, THE PERMITTEE OR CO-PERMITTEE SHALL TAKE IMMEDIATE ACTION TO RESTORE, REPAIR, OR REPLACE BMP, OR PROVIDE AN ALTERNATE METHOD OF TREATMENT.
- THE RESPONSIBLE PARTY FOR MAINTAINING THE POST CONSTRUCTION STORMWATER MANAGEMENT FACILITIES SHALL PERFORM THE FOLLOWING AT A MINIMUM:

MRC STORAGE SYSTEM STORMWATER CONTROL MEASURE (SCM) – OPERATION AND MAINTENANCE

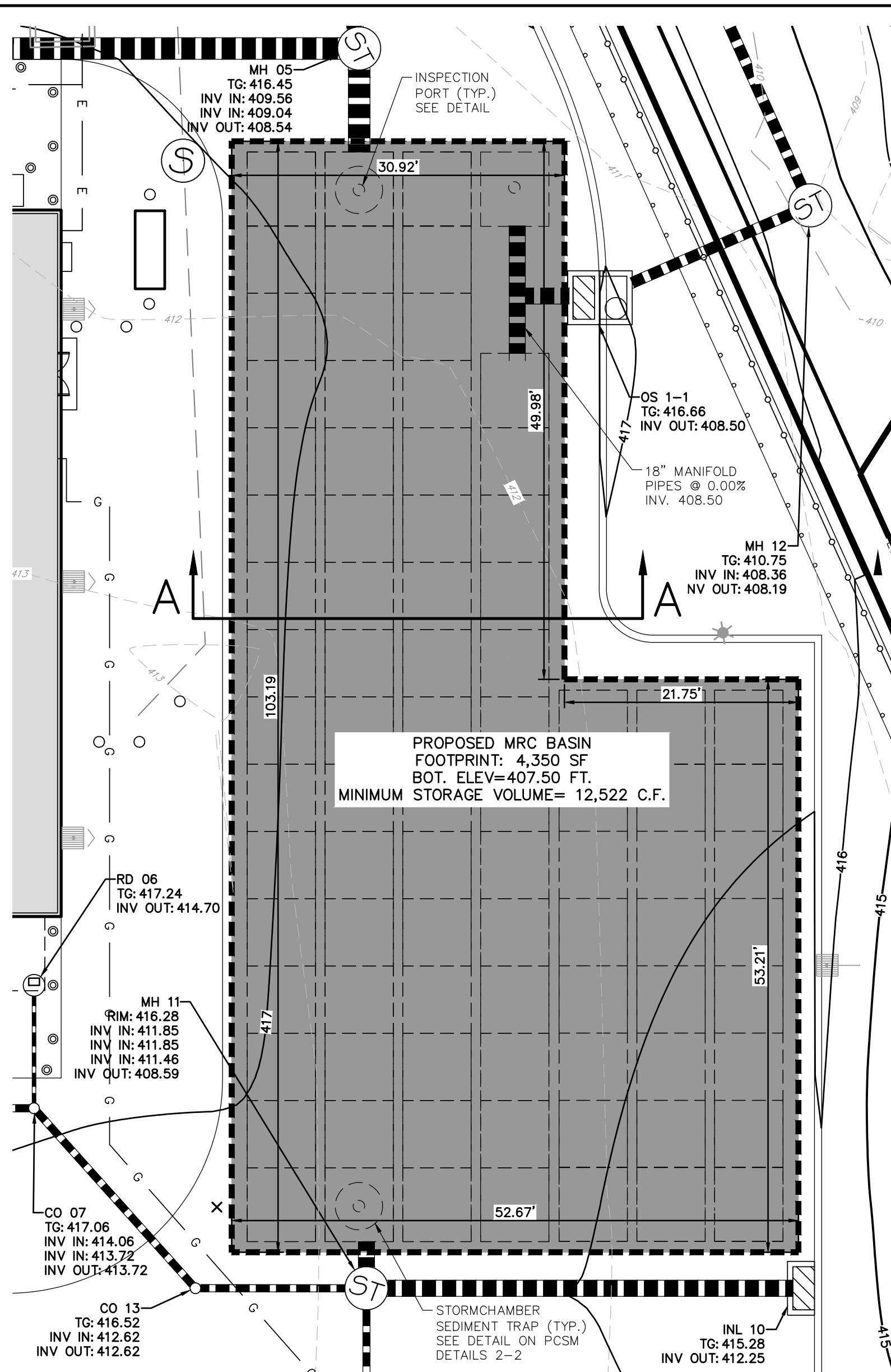
MAINTENANCE ACTIVITIES ARE REQUIRED TO ENSURE PROPER FUNCTIONALITY OF THE MRC STORAGE SYSTEM STORMWATER CONTROL MEASURE (SCM) ON-SITE. THE FOLLOWING REPRESENTS THE RECOMMENDED MAINTENANCE EFFORTS:

- FOR THE FIRST YEAR OF OPERATION, INSPECTION OF THE BASIN BED SHOULD OCCUR ON A QUARTERLY BASIS AND AFTER EACH STORM EVENT EXCEEDING 0.5-INCHES OF RAINFALL. AFTER THE FIRST YEAR, INSPECT BASIN EVERY 12 MONTHS, MAKE NOTE OF ANY OF THE FOLLOWING CONDITIONS:
 - ENSURE THAT ALL INLETS AND OUTFLOWS ARE KEPT CLEAR AND IN GOOD CONDITION FOR EROSION AROUND OUTFLOWS.
 - INSPECT VEGETATION, REPLACE DEAD OR DYING PLANTS. THIN OR PRUNE EXCESSIVE GROWTH.
- INSPECT SPILLWAYS, RISERS, AND OUTFALLS EVERY 12 MONTHS, REVIEWING FOR THE FOLLOWING:
 - LOOK FOR GULLIES OR BARE AREAS ON THE BERM OR EMBANKMENTS. THESE AREAS SHOULD NOT BE ERODED OR BARE.
 - FLUSH THE SPILLWAY WITH CLEAN WATER FROM THE SYSTEM TAKING CARE TO AVOID EXTREME DIRECT WATER PRESSURE. PARTICULAR ATTENTION SHOULD BE PAID TO THE UNDERDRAIN OFFICE IN THE OUTLET STRUCTURE, ENSURING THAT THIS DOESN'T CLOG. MRC BASINS ARE DESIGNED TO DE-WATER TO HWS ELEVATION IN LESS THAN 7 DAYS. IF MRC BASIN DOES NOT DE-WATER WITHIN 7 DAYS PERFORM REMEDIATION MEASURES TO CORRECT THE PROBLEM. CLEAR DEBRIS FROM INLET STRUCTURE AND ASSOCIATED INLET AND OUTLET PIPES. IF MRC BASIN CONTINUES TO FAIL OVER TIME BY NOT DRAINING PROPERLY, COMPLETE REPLACEMENT OF SYSTEM MAY BE REQUIRED. FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS FOR STORMWATER SCM INSPECTION REQUIREMENTS. ALL INSPECTIONS & REPAIRS SHALL BE DOCUMENTED IN A WRITTEN REPORT.
- IF BASIN BED CONTINUE TO FAIL OVER TIME BY NOT DRAINING PROPERLY, COMPLETE REPLACEMENT OF THE SYSTEM MAY BE REQUIRED.

LONG TERM – P.C.S.M. SCM INSPECTION, MAINTENANCE AND/OR REPLACEMENT PLAN

SCM TYPE	MAINTENANCE ACTIVITY	SCHEDULE
SCM 6.6.3 MRC STORAGE SYSTEM STORMWATER CONTROL MEASURE (SCM)	BI-ANNUALLY (AFTER FIRST YEAR OF INSPECTING EACH EVENT) AND AFTER LARGE STORM EVENTS (0.5-INCHES OR GREATER), INSPECT EACH MANHOLE, INFLOW AND OUTFLOW POINTS INCLUDING PIPES, OUTLET STRUCTURE, MRC BASIN, AND BERM AND MANHOLES. INSPECT THE BASIN, IDENTIFY AND REPORT ANY EROSION, SEDIMENT AND DEBRIS ACCUMULATION, SYSTEM BACK UP, AND CHANGES IN FLOW RATES. DETERMINE IF MAINTENANCE IS REQUIRED. IF REQUIRED, USE A VACUUM PUMP TRUCK TO EVACUATE DEBRIS FROM INFLOW AND OUTFLOW POINTS. FLUSH THE SYSTEM WITH CLEAN WATER FORGING DEBRIS FROM THE SYSTEM, TAKING CARE TO AVOID EXTREME DIRECT WATER PRESSURE. PARTIAL SYSTEM FLUSHING IS ACCEPTABLE. PARTIAL SYSTEM FLUSHING IS ACCEPTABLE. PARTIAL SYSTEM, ENSURING THAT THIS DOESN'T CLOG. MRC BASINS ARE DESIGNED TO DE-WATER TO INS ELEVATION IN LESS THAN 7 DAYS. IF MRC BASIN DOES NOT DE-WATER WITHIN 7 DAYS PERFORM REMEDIATION MEASURES TO CORRECT THE PROBLEM. CLEAR DEBRIS FROM OUTLET STRUCTURE AND ASSOCIATED INLET AND OUTLET PIPES. IF MRC BASIN CONTINUES TO FALL OVERTIME BY NOT DRAINING PROPERLY, COMPLETE REPLACEMENT OF SYSTEM MAY BE REQUIRED. FOLLOW ALL STATE AND FEDERAL REGULATIONS FOR STORMWATER SCM INSPECTION REQUIREMENTS. ALL INSPECTIONS & REPAIRS SHALL BE DOCUMENTED IN A WRITTEN REPORT.	BI-ANNUALLY OR MORE FREQUENTLY, AS NECESSARY. AFTER RAINFALL EVENT OF 0.5 INCHES OR GREATER, DURING THE FIRST YEAR

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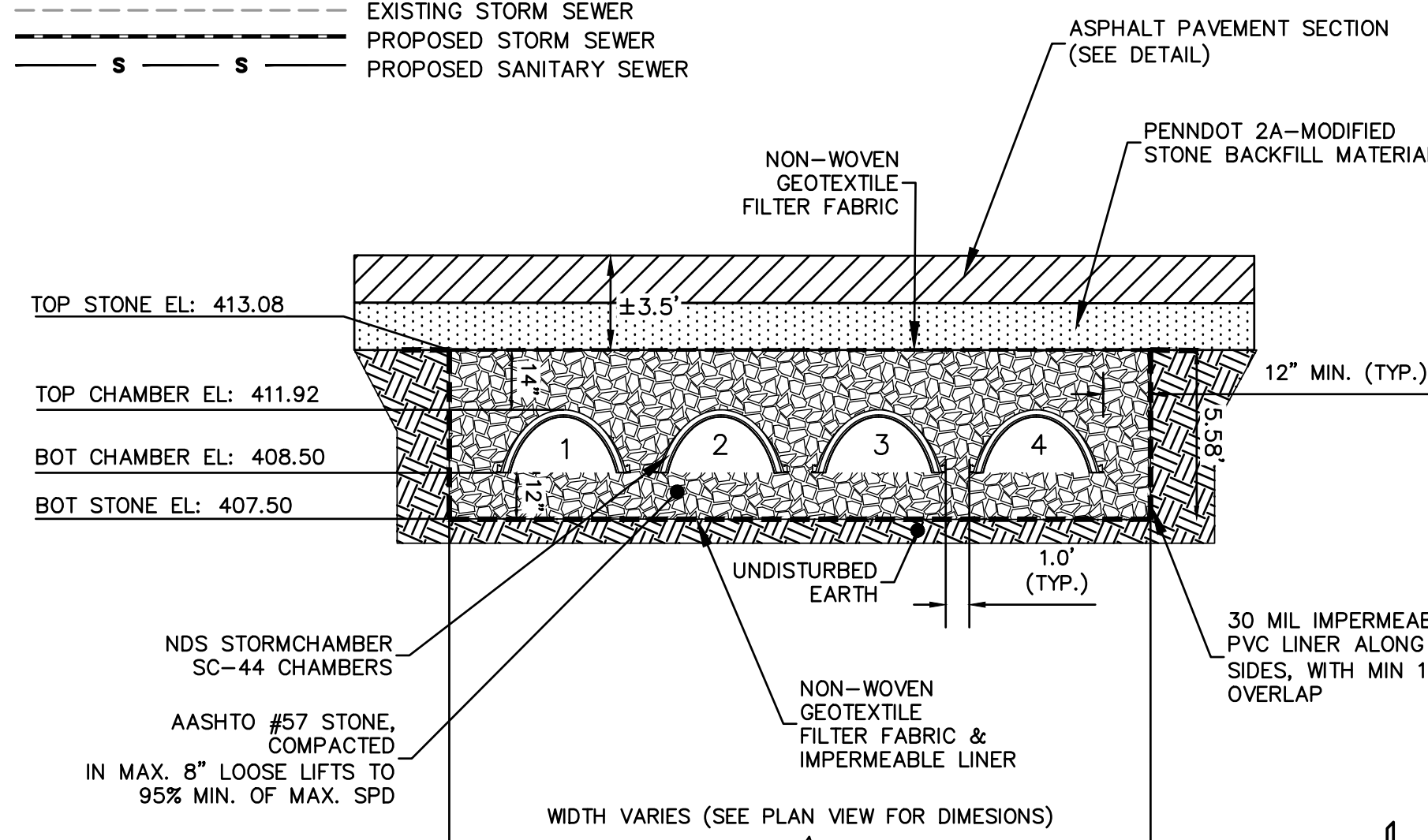


SUBSURFACE EXTENDED DETENTION BASIN - MRC
SCALE: 1" = 10'

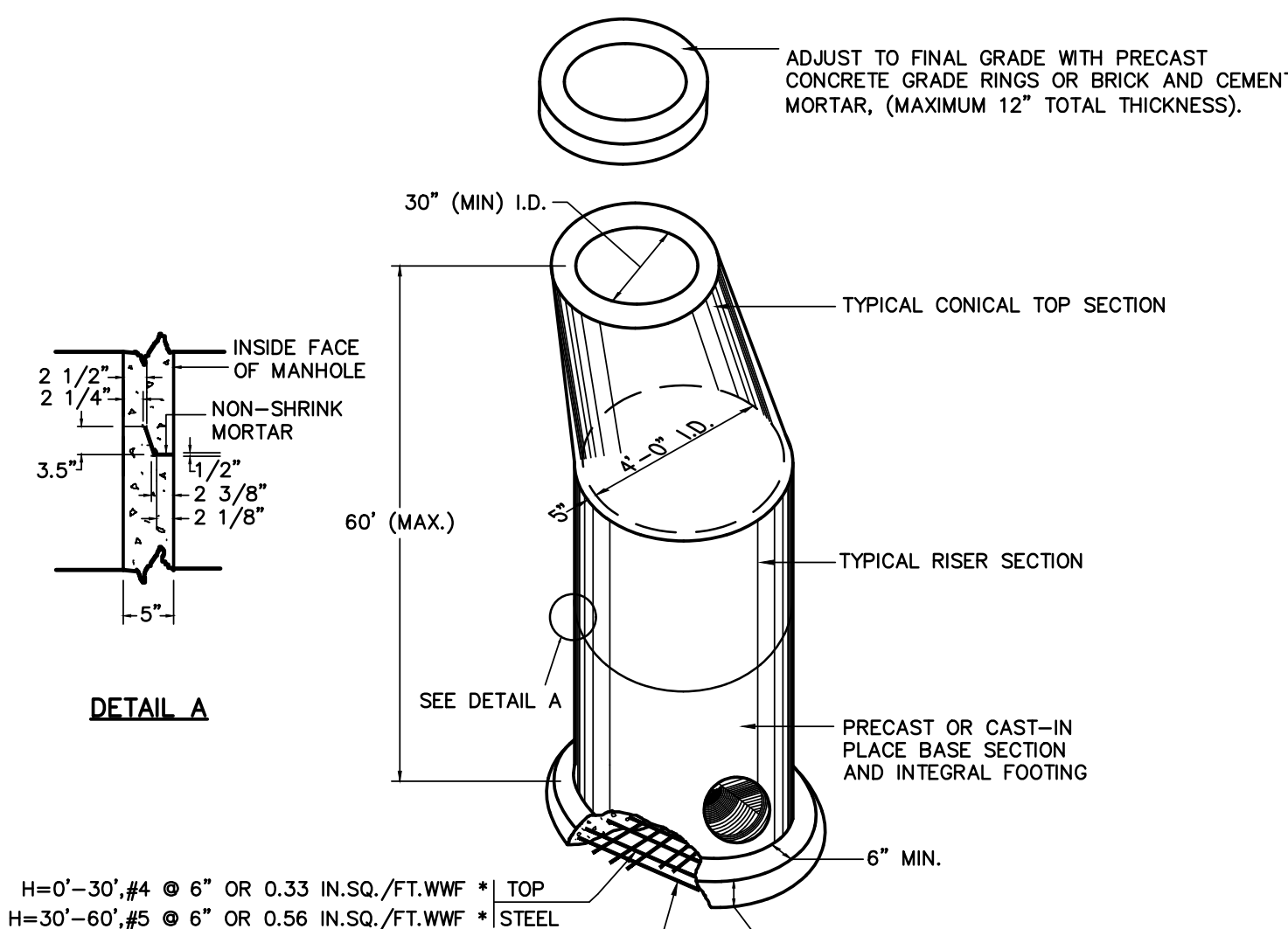
LEGEND

— LOD — LOD —
— W — W —
— S — S —
EXISTING BOUNDARY
LIMIT OF DISTURBANCE
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
PROPOSED MAJOR CONTOUR
PROPOSED MINOR CONTOUR
PROPOSED WATER MAIN
EXISTING STORM SEWER
PROPOSED STORM SEWER
PROPOSED SANITARY SEWER

**** 2-YR W.S.E. (SCS) ****
411.25
**** 2-YR W.S.E. (DEKALB) ****
410.82
**** 1.2-IN/2-HR W.S.E. (SCS) ****
410.07
**** 100-YR W.S.E. (DEKALB) ****
412.67



MRC BASIN SECTION A-A
NOT TO SCALE

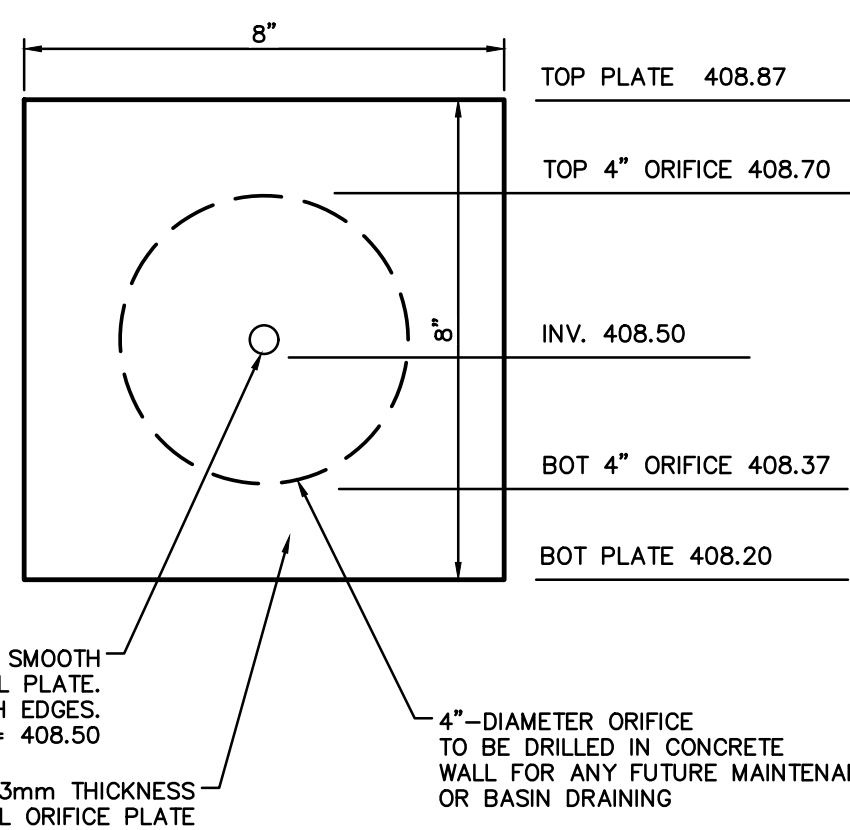


DETAIL A

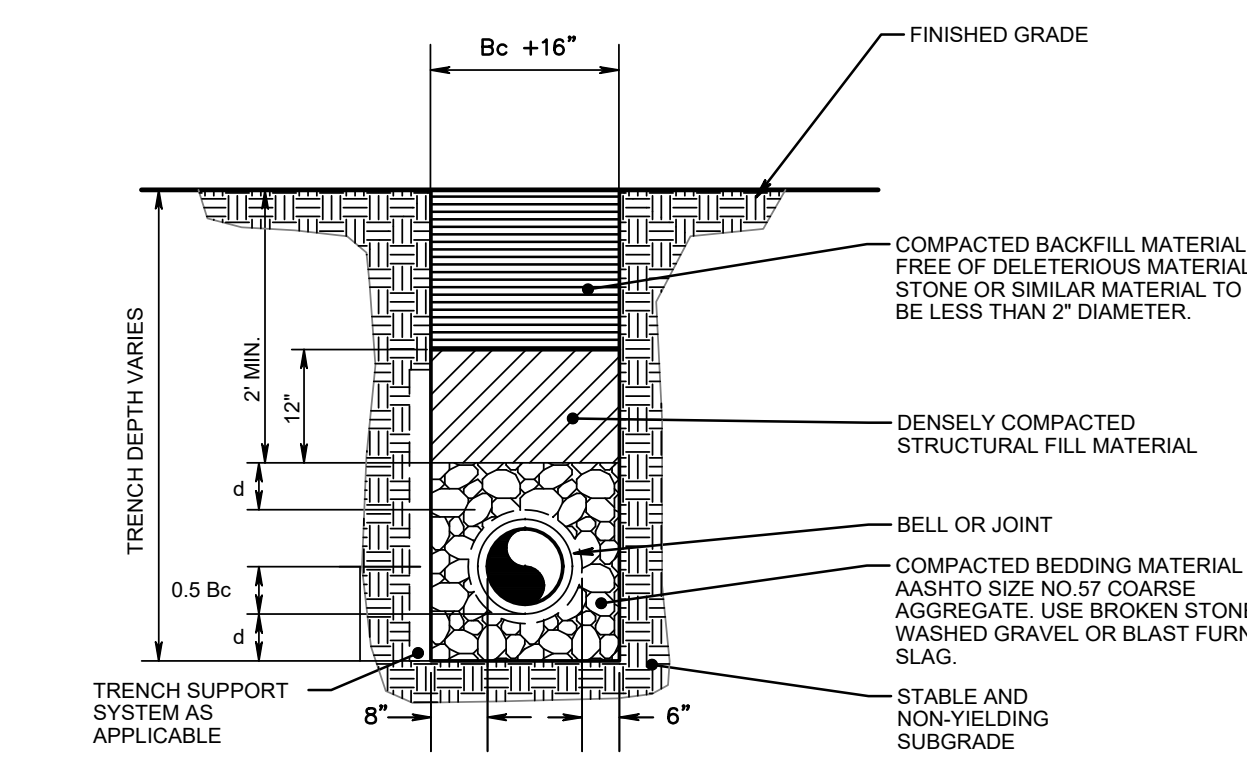
H=0'-30", #4 @ 6" OR 0.33 IN.SQ./FT.WWF * TOP
H=30'-60", #5 @ 6" OR 0.56 IN.SQ./FT.WWF * STEEL
H=0'-30", #4 @ 12" OR 0.16 IN.SQ./FT.WWF * BOTTOM
H=30'-60", #4 @ 6" OR 0.27 IN.SQ./FT.WWF * STEEL

NOTES:
PRECAST MANHOLES, MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 714, MAY BE SUBSTITUTED FOR STANDARD CAST-IN-PLACE MANHOLE.
REFER TO "COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAY DESIGN, STANDARDS FOR ROADWAY CONSTRUCTION", PAGE RC-39, SHEET 3 OF 5, LATEST ISSUE, FOR NOTES AND SPECIFICATIONS REGARDING PRECAST MANHOLE CONSTRUCTION.
* PROVIDE WELDED WIRE FABRIC MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 709.3.
MANHOLE STEPS SHALL BE PROVIDED IN ANY CASE WHERE THE STRUCTURE IS 5 FEET OR GREATER IN DEPTH.

PRECAST STORMWATER MANHOLE
NOT TO SCALE

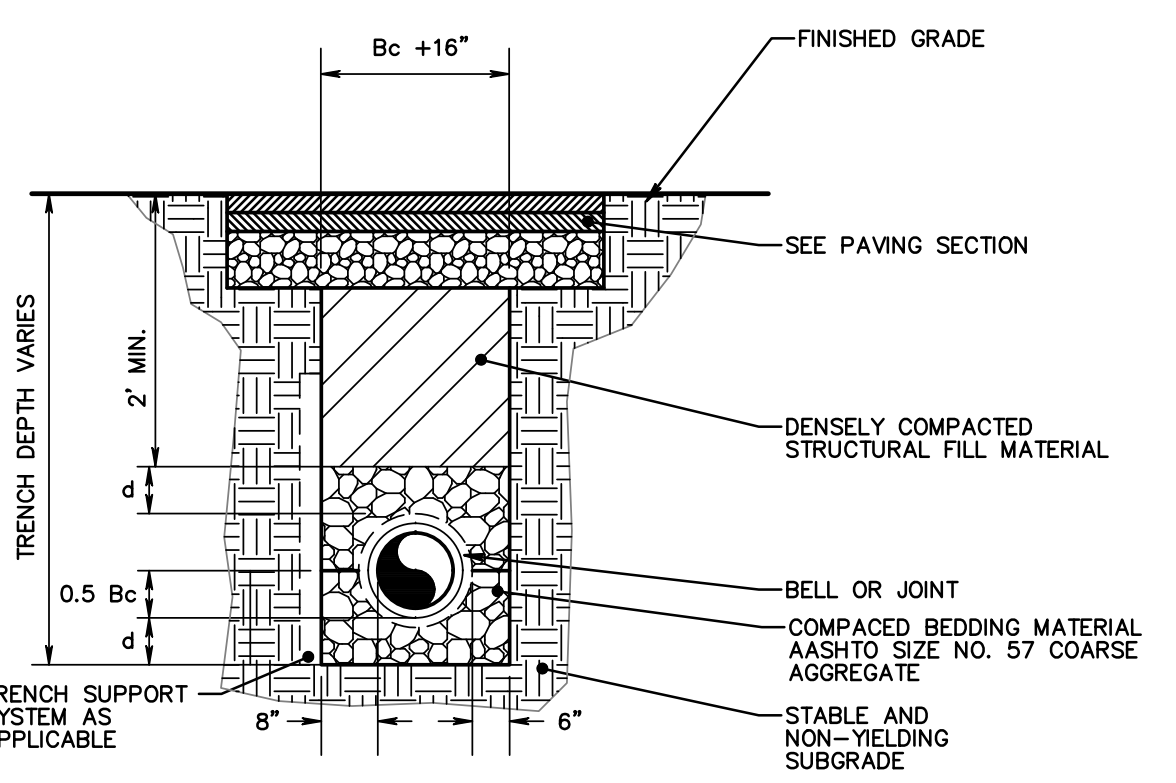


ORIFICE PLATE DETAIL
NOT TO SCALE



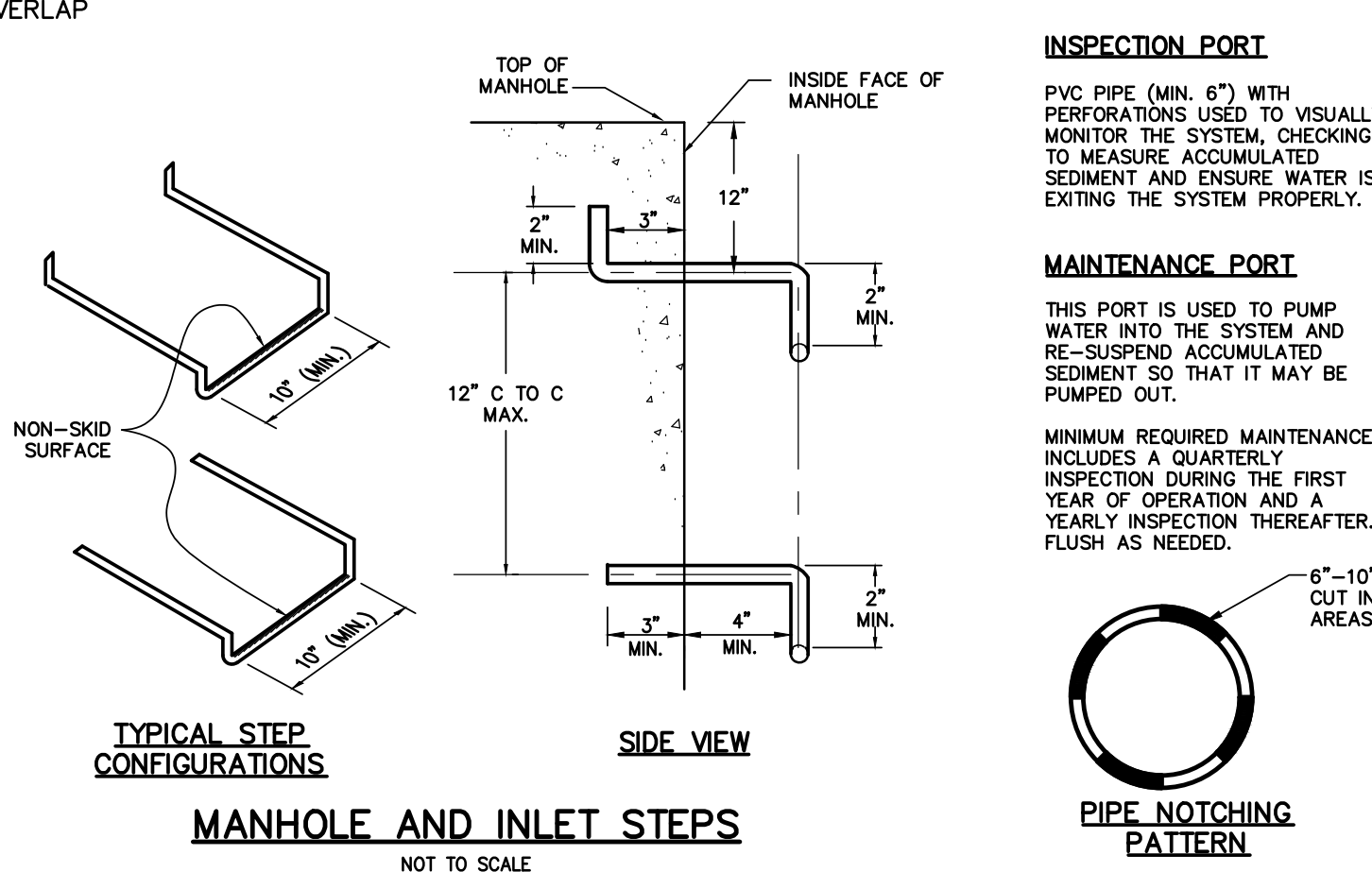
NOTES:
1. PROVIDE TRENCH SUPPORT SYSTEM AS REQUIRED FOR EXCAVATION PROTECTION AND TO ALLOW FOR REQUIRED COMPACTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING TRENCHES, IF REQUIRED, BEFORE PLACEMENT OF BEDDING MATERIAL.

STORM PIPE BEDDING/TRENCH - NON-PAVED AREAS
NOT TO SCALE

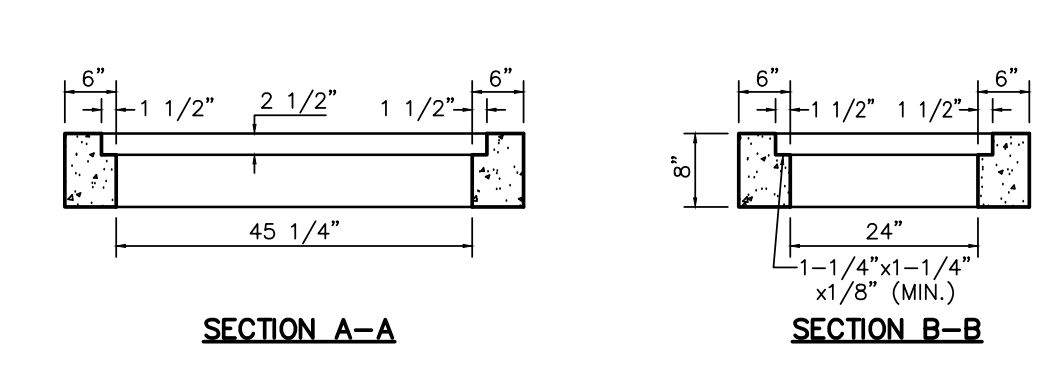


NOTES:
1. PROVIDE TRENCH SUPPORT SYSTEM AS REQUIRED FOR EXCAVATION PROTECTION AND TO ALLOW FOR REQUIRED COMPACTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING TRENCHES, IF REQUIRED, BEFORE PLACEMENT OF BEDDING MATERIAL.

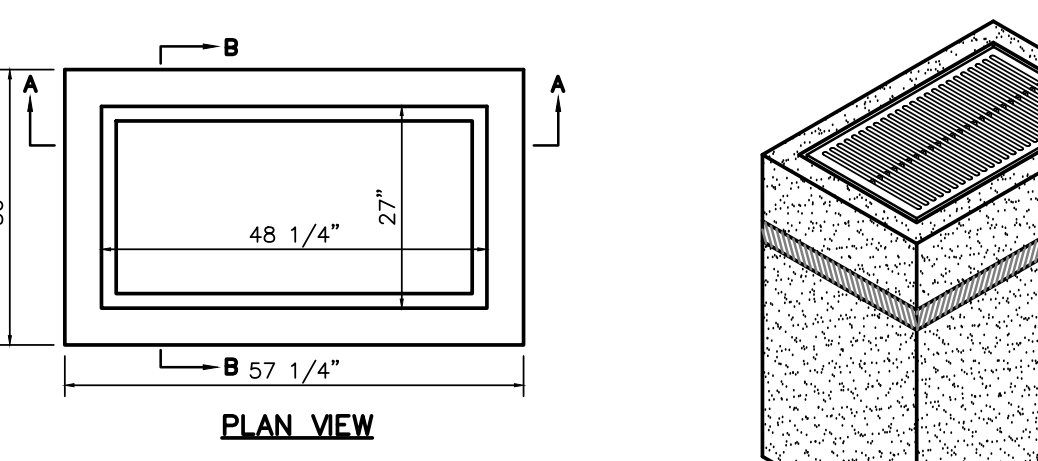
STORM PIPE BEDDING/TRENCH - ON-SITE PAVED AREAS
NOT TO SCALE



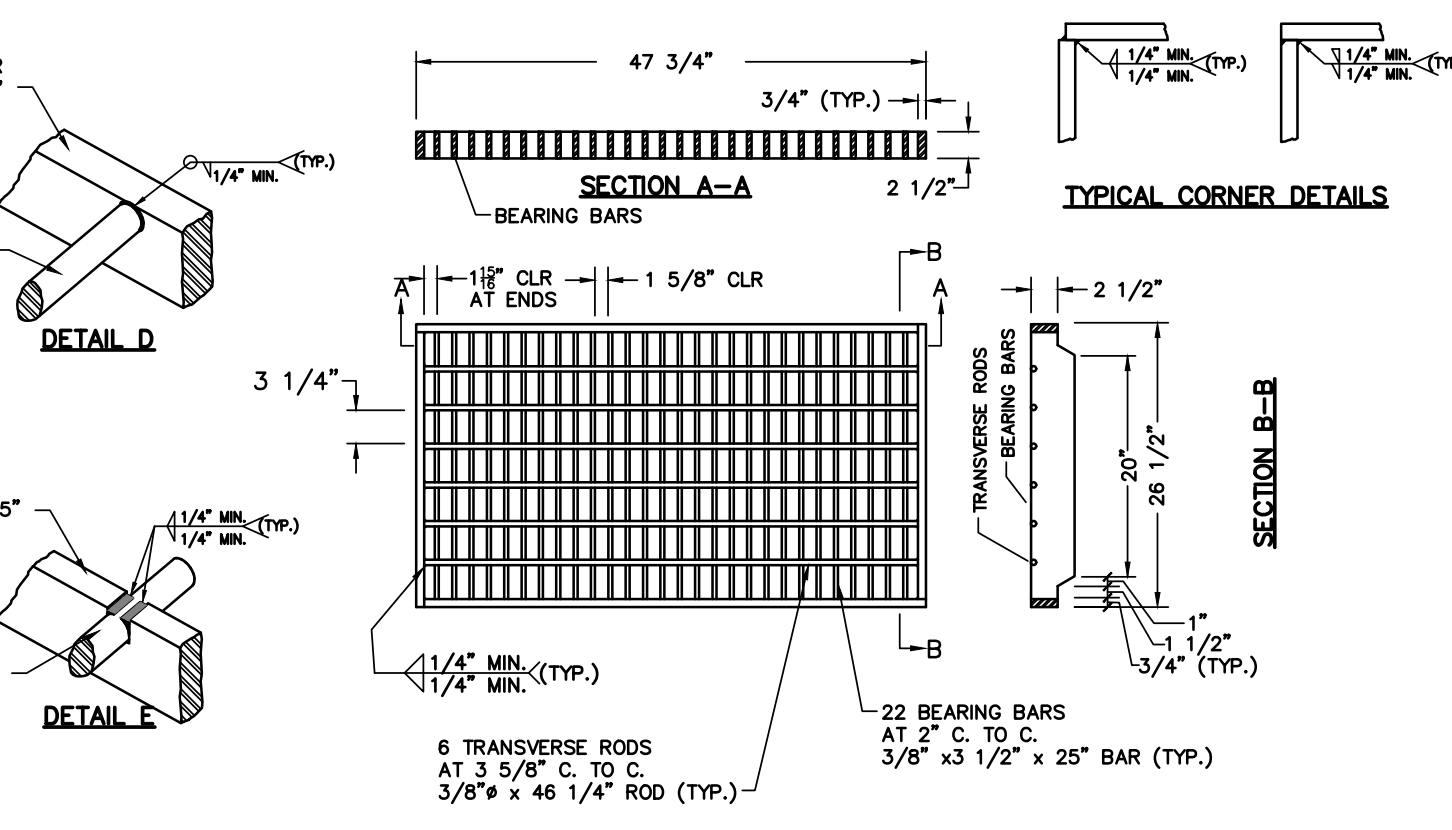
MANHOLE AND INLET STEPS
NOT TO SCALE



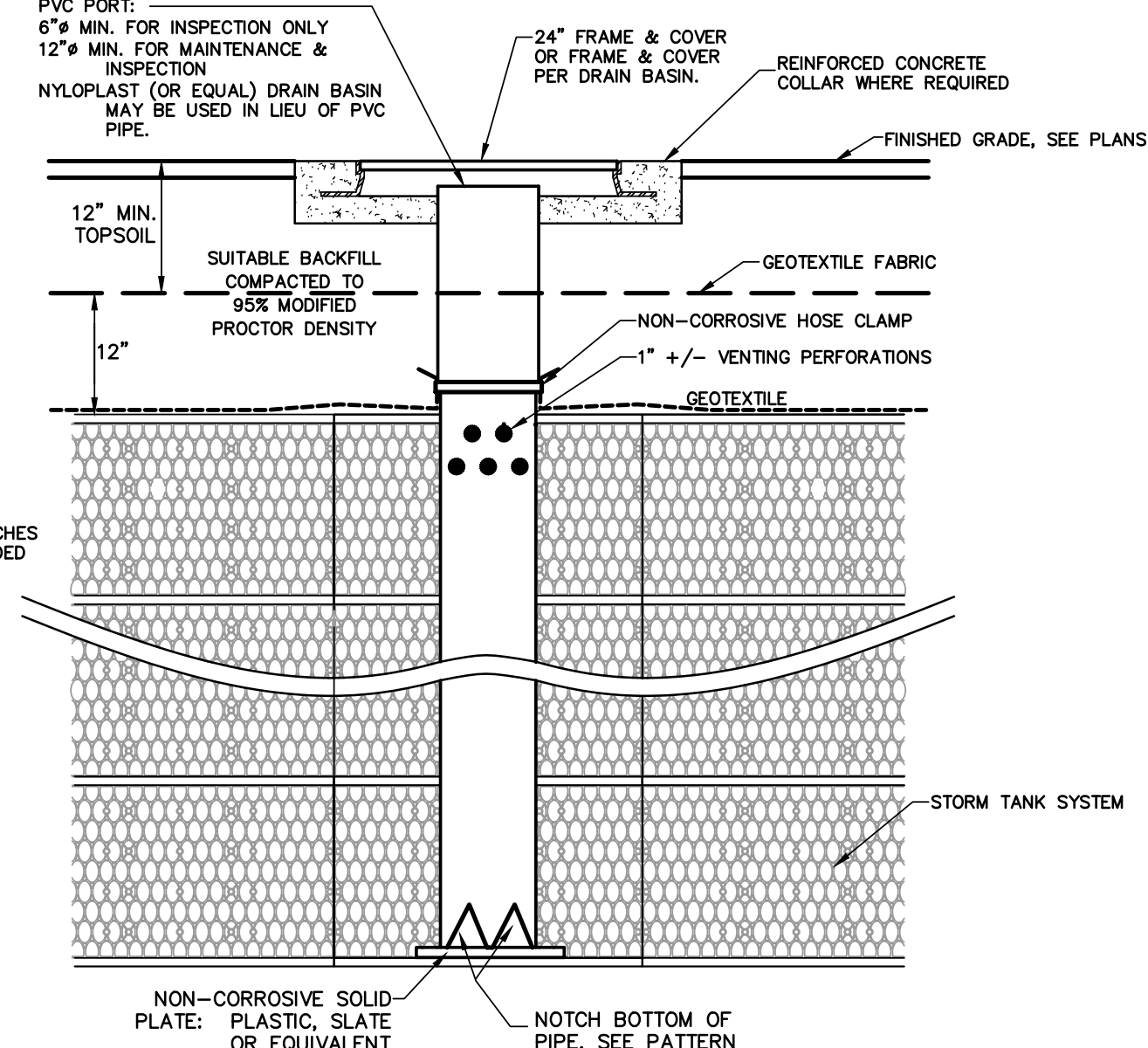
SECTION A-A
SECTION B-B



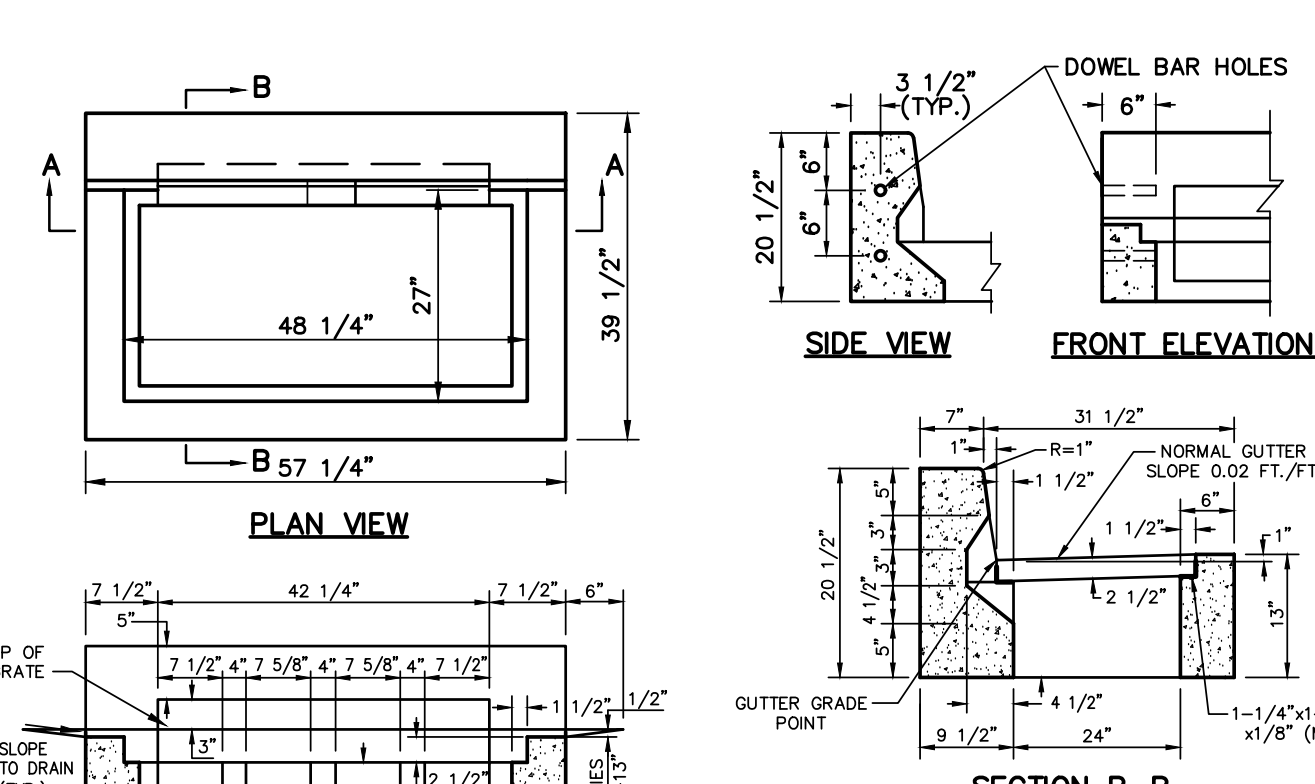
TYPE 'M' INLET DETAIL
NOT TO SCALE



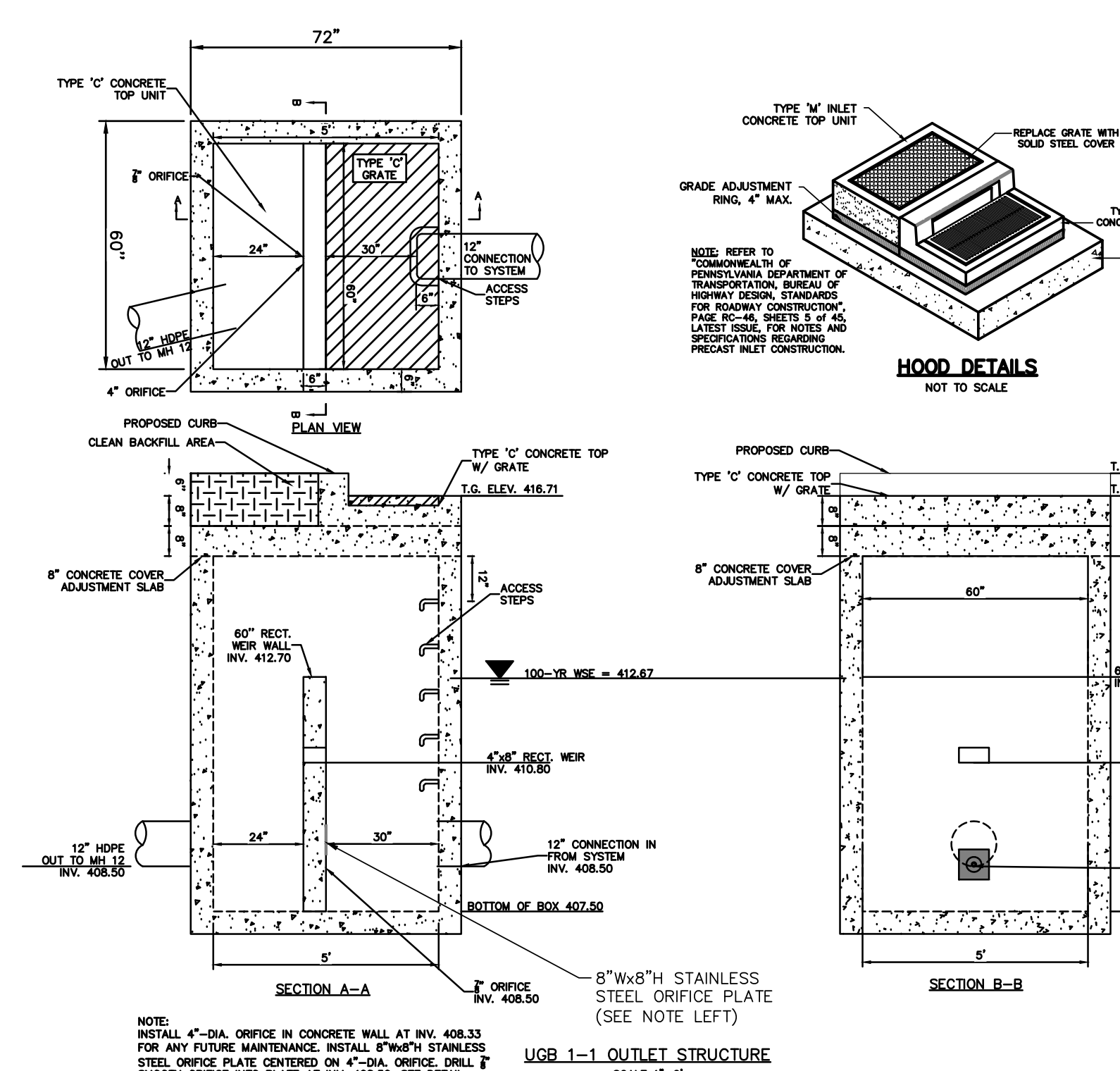
STRUCTURAL STEEL GRATE BICYCLE SAFE
NOT TO SCALE



MAINTENANCE & INSPECTION PORT
NOT TO SCALE



TYPE 'C' INLET DETAIL
NOT TO SCALE



HOOD DETAILS
NOT TO SCALE

NOTE:
INSTALL 4" DIA. ORIFICE IN CONCRETE WALL AT INV. 408.33 FOR ANY FUTURE MAINTENANCE. INSTALL 1/2" DIA. STAINLESS STEEL ORIFICE PLATE CENTERED ON 4" DIA. ORIFICE. DRILL 7/8" DIA. HOLE IN CONCRETE WALL AT INV. 408.33. SEE DETAIL.

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
66 EAST BENTLEY AVENUE, SUITE 100, NEW BRUNSWICK, NJ 08901-4330 • 732-345-4330 • www.gilmore-associates.com

ERIC S. CLASE
PROFESSIONAL ENGINEER
55713-E
STATE OF NEW JERSEY

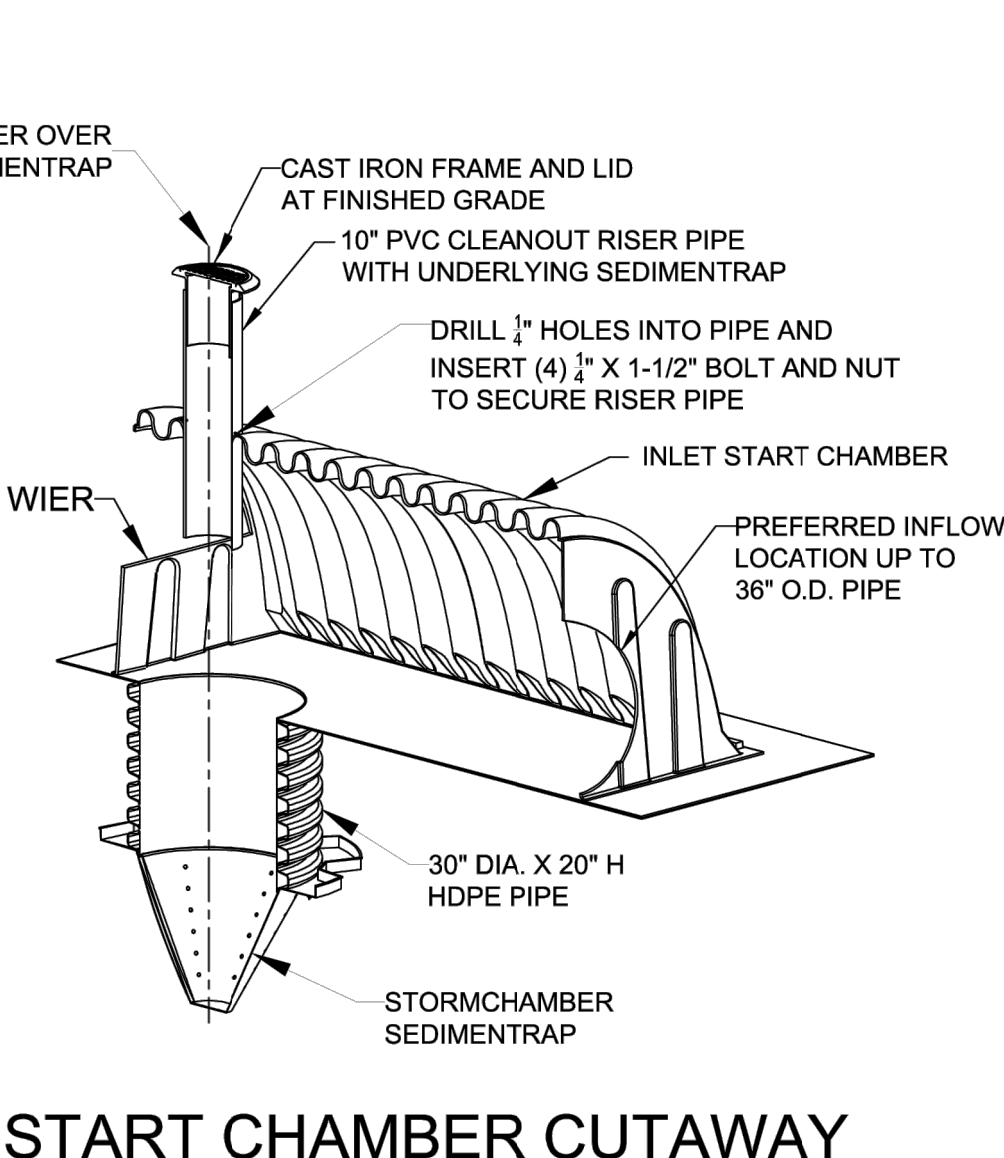
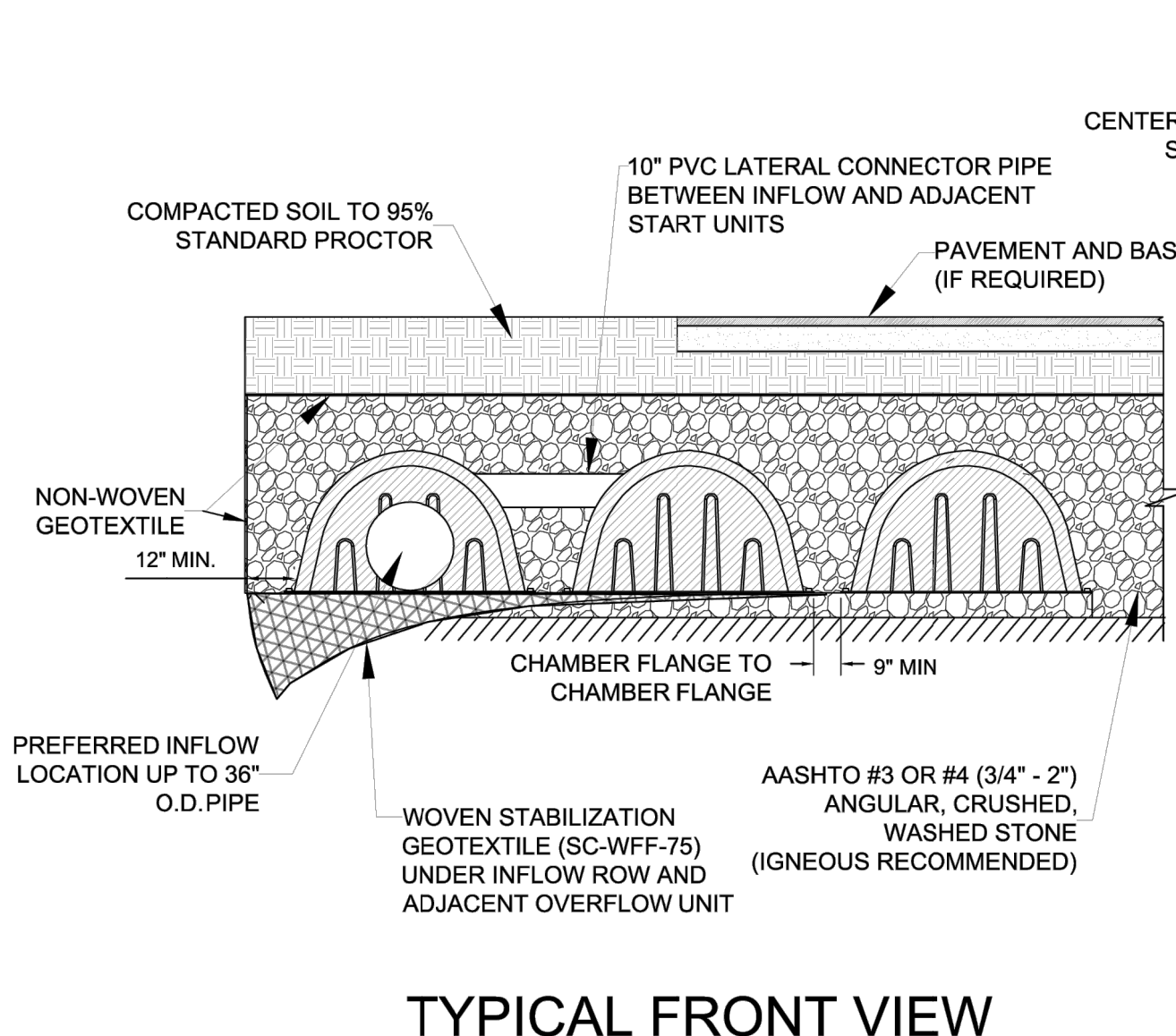
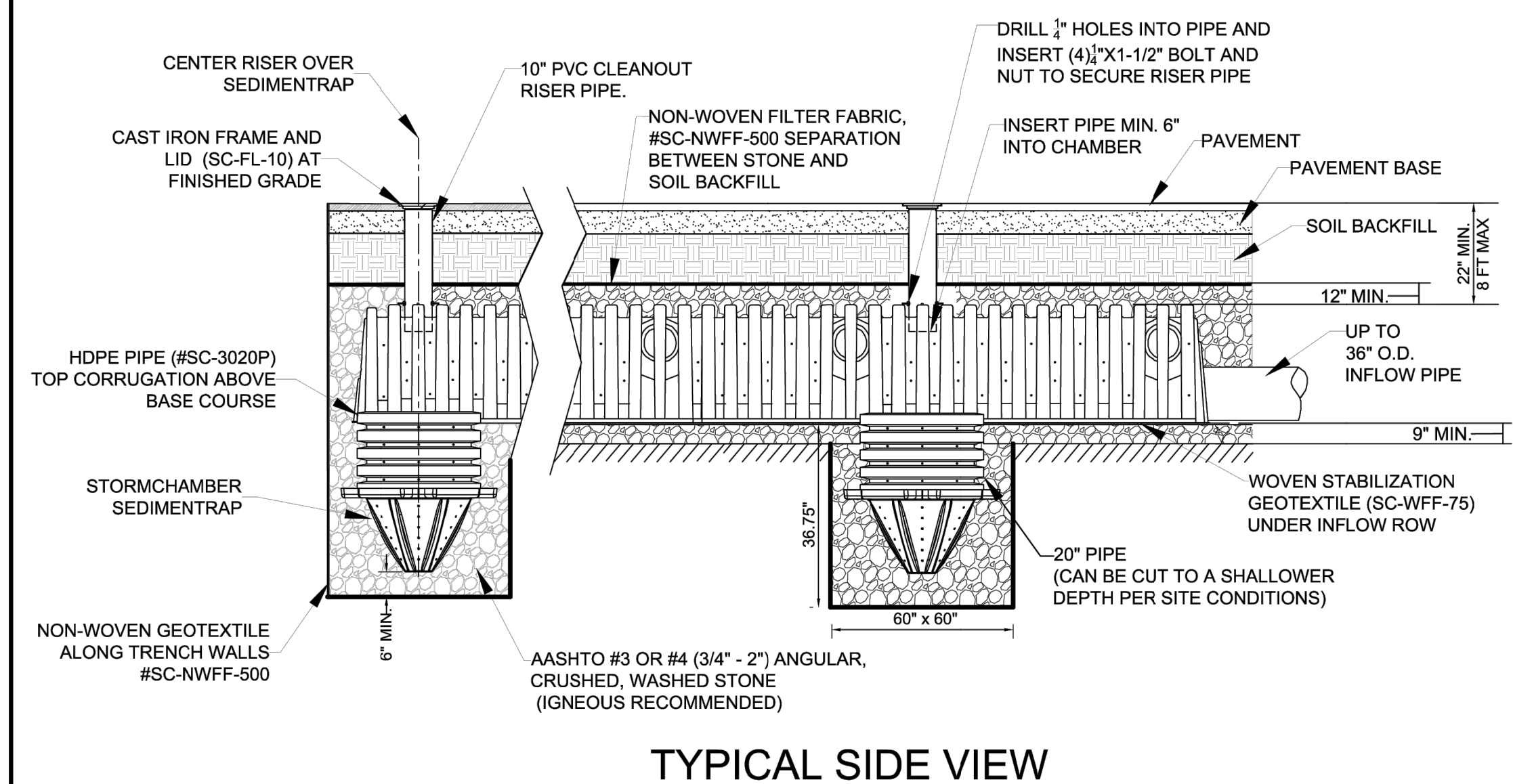
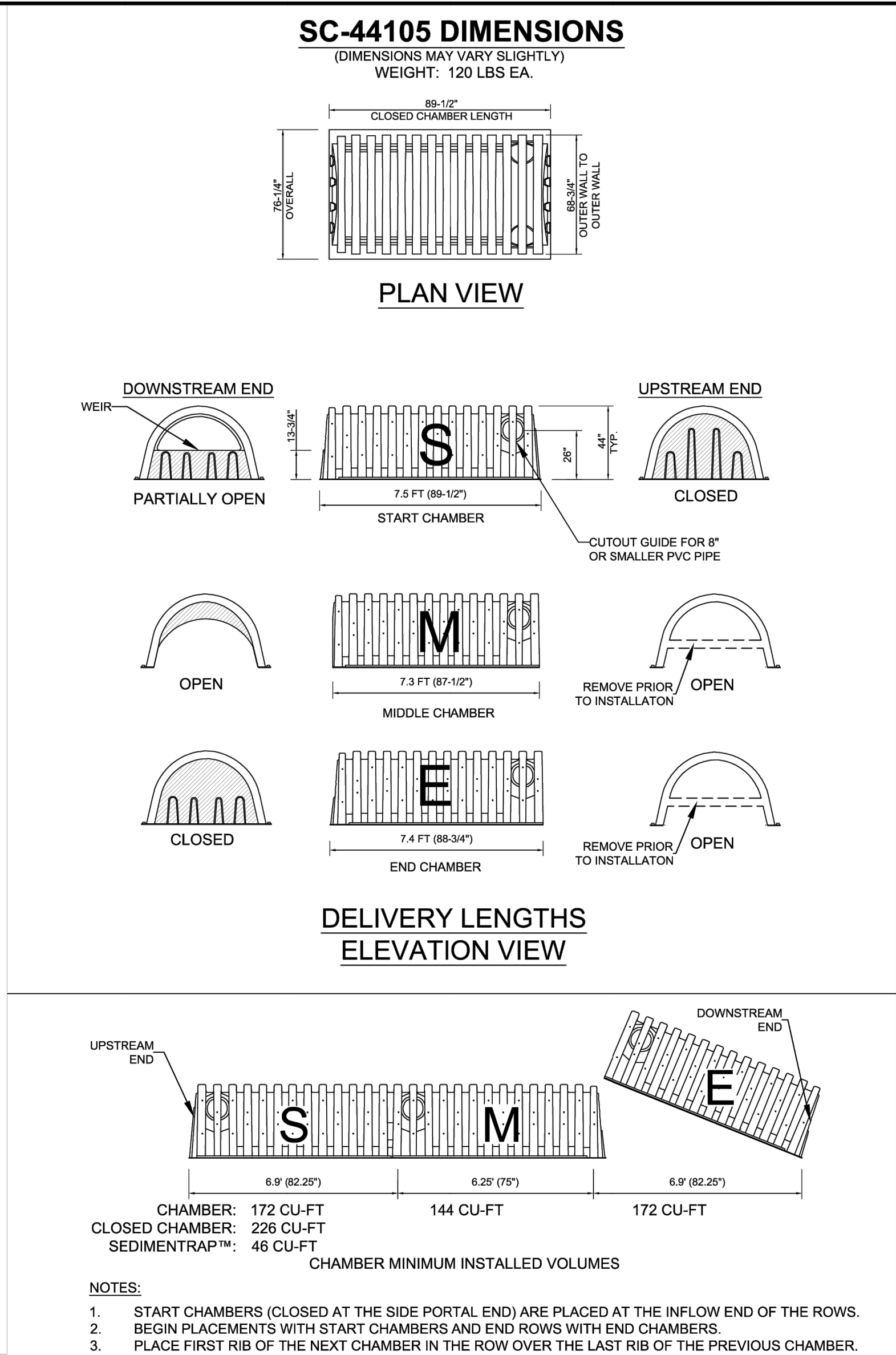
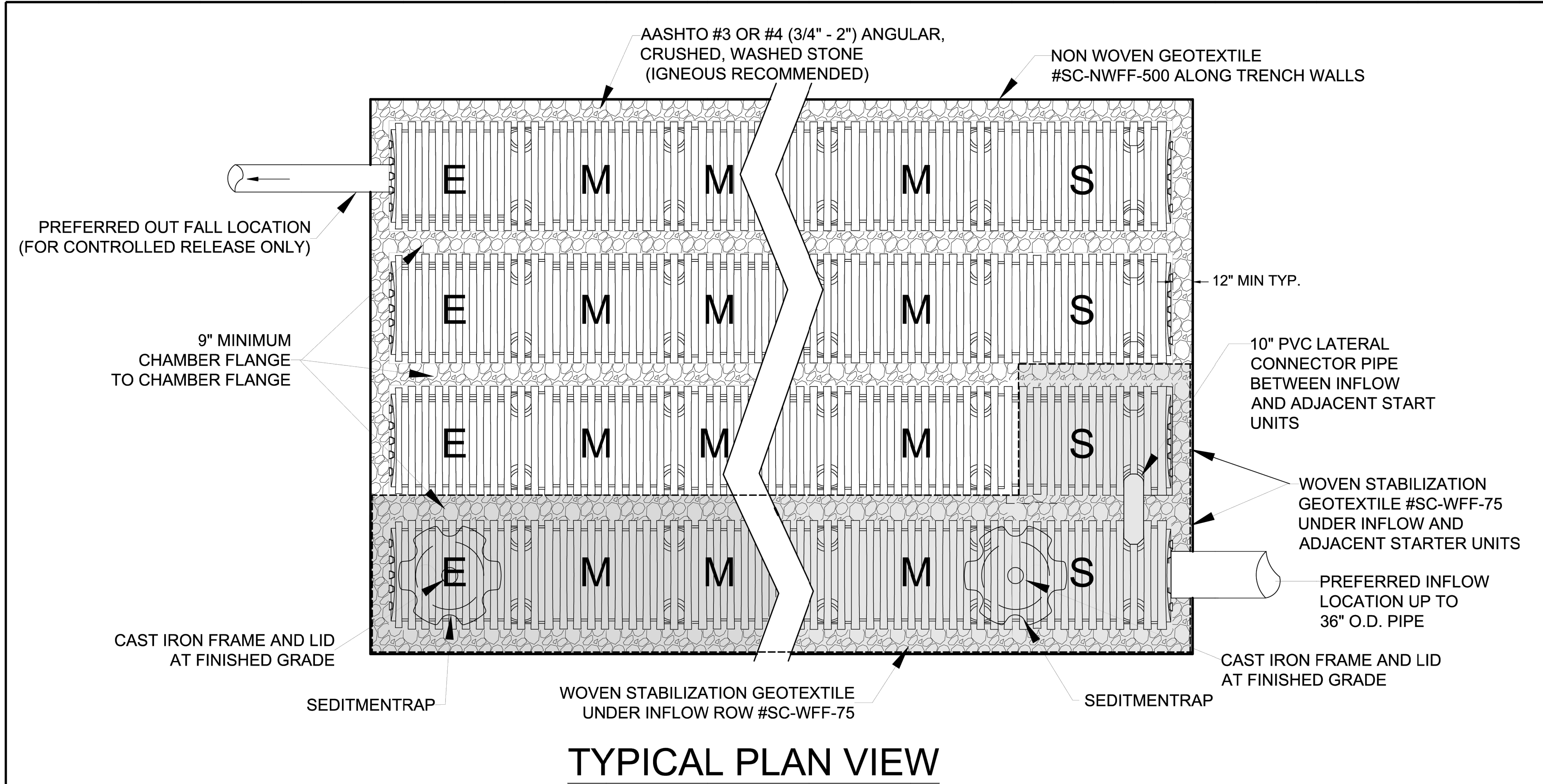
DATE: 08/07/25

REV.	DATE	DESCRIPTION	BY
1	05/07/25	PER UTILITY COORDINATION	LEH
2	05/23/25	PER RETIEW LTR. DATED 05/13/25	LEH
3	06/30/25	PER RETIEW LTR. DATED 06/09/25	LEH
4	08/07/25	PER RETIEW LTR. DATED 08/07/25	LEH



920 CENTURY DRIVE LAND DEVELOPMENT
PRELIMINARY-FINAL LAND DEVELOPMENT
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
PROJECT No.: 2308023
OWNERS INFO: PROVOC PINEGOOD CENTURY, LLC
705 EAST LANCASTER AVE.
SUITE 200
VILLANOVA, PA 19085
610-522-0572
MUNICIPAL FILE No.: 2025-03
TAX MAP PARCEL No.: 13-24-0795-173
TOTAL AREA: 2.35 AC. TOTAL LOTS: 1
DATE: 04/21/2025 SCALE: N.T.S.
DRAWN BY: LEH CHECKED BY: ESC
SHEET NO.: 9 OF 31

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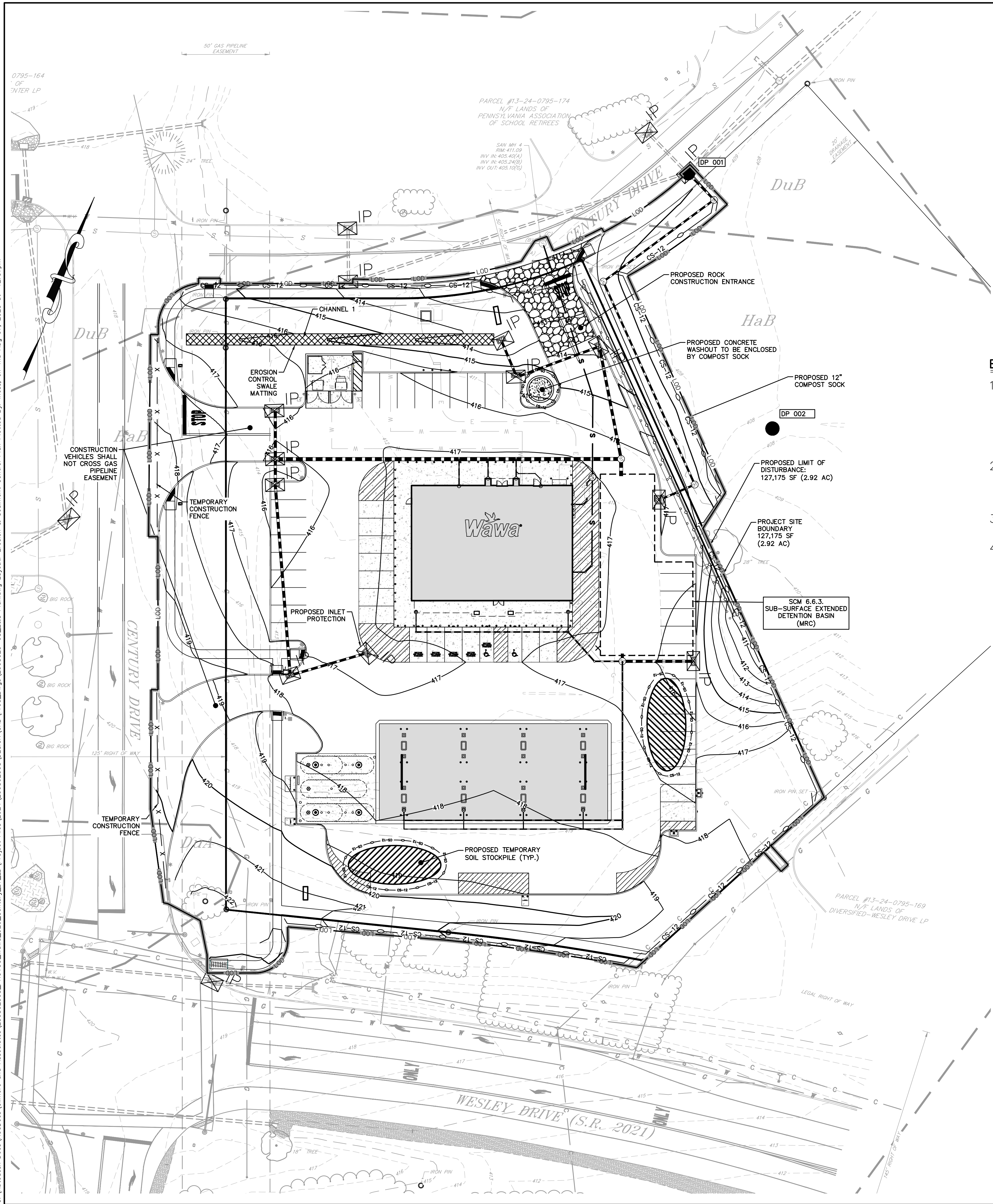


INSTALLED LENGTHS ELEVATION VIEW			
MATERIAL LIST			
DESCRIPTION	STOCK CODE	QTY	UNITS
CHAMBERS AND ACCESSORIES:			
START CHAMBER	SC-44105-S-O		EACH
MIDDLE CHAMBER	SC-44105-M-O		EACH
END CHAMBER	SC-44105-E-O		EACH
CLOSED CHAMBER	SC-44105-C-O		EACH
SEDIMENTRAP™	SC-ST		EACH
NON-WOVEN GEOTEXTILE	SC-NWFF-500		SQ FT
WOVEN STABILIZATION GEOTEXTILE	SC-WFF-75		SQ FT
30" X 20" HDPE PIPE FOR SEDIMENTRAP™	SC-3020P		EACH
10" CAST IRON FRAME AND LID	SC-FL-10		EACH
MATERIALS BY OTHERS:			
10" DIAMETER RISER / LATERAL PIPE	OTHERS		EACH
IN-PLACE EXCAVATION (NO BULKING FACTOR)	OTHERS		CU FT
STONE BACKFILL	OTHERS		CU FT
1/4" X 1-1/2" NUT AND BOLT	OTHERS		EACH
3" SCREWS	OTHERS		EACH

PROJECT NAME / PROJECT LOCATION	PROJECT #	 	TYPICAL SC-44105 STORMCHAMBER LAYOUT MEETS OR EXCEEDS ASTM F2922 & ASTM F2787	DRAWING# 44105-0T REV. C DATE 11-22-2019	
	DATE:				REVISION:
	DRAWN BY:				

REV.	DESCRIPTION	DATE	BY
4	PER RETIEW LTR. DATED 06/09/25	08/07/25	LEH
3	PER COCD LTR. DATED 05/27/25	08/30/25	LEH
2	PER RETIEW LTR. DATED 05/13/25	05/23/25	LEH
1	PER UTILITY COORDINATION	05/07/25	J.P.

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E&S NOTES:

- WHEN ANY CONSTRUCTION ACTIVITY IS CONDUCTED IN OR AROUND THE PIPELINE RIGHT-OF-WAY, BUCKEYE'S ON-SITE INSPECTOR MUST BE PRESENT AT ALL TIMES. NO WORK SHALL TAKE PLACE WITHOUT A BUCKEYE ON-SITE INSPECTOR PRESENT. PLEASE CONTACT JAKE CRUM 717-601-8455 TO SCHEDULE.
- BUCKEYE'S RIGHT-OF-WAY USE RESTRICTIONS SPECIFICATIONS ARE PROVIDED AS A PART OF THIS PLAN SET UNDER A SEPARATE SECTION OF THE CONSTRUCTION SPECIFICATIONS. PLEASE SEE BUCKEYE'S FILE #2025-6876.
- SNOW REMOVAL ACTIVITIES SHALL NOT STOCKPILE SNOW AND ICE WITHIN BUCKEYE'S RIGHT-OF-WAY.
- BACKFILL OVER BUCKEYE'S RIGHT-OF-WAY SHALL BE CLEAN FILL; WITH SOIL MOISTURE CONTENT WITHIN $\pm 2\%$ OF OPTIMUM MOISTURE CONTENT, FREE OF ORGANIC MATERIAL, PLACED IN LIFTS AND COMPACTED BY HAND UNTIL 18-INCHES OF COVER IS ACHIEVED. COMPACTION ABOVE THE 18-INCHES OF COVER SHALL BE PERFORMED WITH A WALK-BEHIND UNIT. VIBRATORY ROLLERS ARE NOT PERMITTED TO OPERATE IN DYNAMIC VIBRATORY MODE WITHIN BUCKEYE'S ROW. ROLLERS MAY OPERATE WITHIN BUCKEYE'S ROW IN STATIC MODE PROVIDED 5-FEET OF COVER OVER THE HPPPP IS VERIFIED. COMPACTION SHALL BE TO THE SAME DEGREE OF COMPACTION OF THE SURROUNDING AREAS

SOILS LEGEND AND TABLE OF LIMITATIONS & RESOLUTIONS BASED ON USDA-NRCS WEB SOIL SURVEY OF CUMBERLAND COUNTY								
SYMBOL	MAPPING UNITS	SLOPE	LAND CAPBLTY	HYDRIC SOIL	HYDRO. GROUP	DEPTH TO BEDROCK	WATER TABLE	RESOLUTION OF LIMITATIONS
DuA	DUFFIELD SILT LOAM	0-3%	1	YES	B	60-80"	> 5'	NOT LIMITED
DuB	DUFFIELD SILT LOAM	3-8%	2e	YES	B	60-80"	> 5'	NOT LIMITED
HaB	HAGERSTOWN SILT LOAM	3-8%	2e	YES	B	43-98"	> 5'	SOMEWHAT LIMITED: SHRINK-SWELL POTENTIAL COMPACTION AS PER PLAN SPECIFICATION

*SEE E&S NOTES SHEET 2 FOR SOILS LIMITATIONS AND RESOLUTION TABLES

PENNSYLVANIA ONE CALL SYSTEM, INC.

925 Irwin Run Road
West Mifflin, Pennsylvania
15122 - 1076



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
DRILL, BLAST OR DEMOLISH

SERIAL NO. 20243203027

LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUTS BY UTILITY OWNERS, AND/OR ABOVE-GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN THE PREPARATION OF THESE DRAWINGS; THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.

ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON APRIL 28, 2018 PENNSYLVANIA ACT 50.

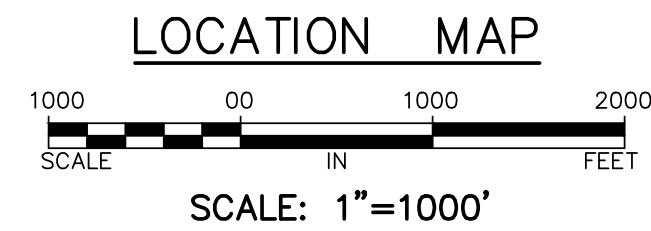
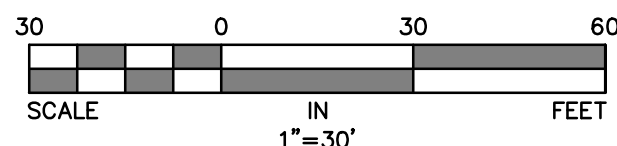
GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

WETLAND CERTIFICATION

I, ERIC S. CLASE, A REGISTERED PROFESSIONAL ENGINEER OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THAT THE PROJECT SITE DOES NOT DISTURB ANY WETLANDS.

(REGISTERED PROFESSIONAL ENGINEER)

PE-55713-E
(REGISTRATION NUMBER)



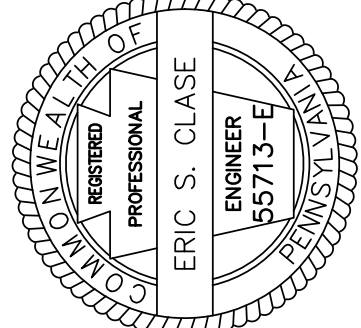
LEGEND:

- EXISTING PROPERTY BOUNDARY
- EXISTING EDGE OF PAVEMENT
- EXISTING UTILITY POLE
- LEGAL RIGHT-OF-WAY LINE
- PROPOSED CONCRETE
- PROPOSED SANITARY LATERAL
- PROPOSED WATER LATERAL
- PROPOSED CONTOURS
- PROPOSED INLET
- PROPOSED OUTLET CONTROL STRUCTURE (OCS)
- PROPOSED MANHOLE
- CONSTRUCTION FENCE
- COMPOST SOCK
- LIMIT OF DISTURBANCE LINE
- PROJECT SITE BOUNDARY
- PROPOSED TEMPORARY TOPSOIL STOCKPILE
- INLET PROTECTION
- ROCK CONSTRUCTION ENTRANCE
- EROSION CONTROL SWALE MATTING
- COMPOST SOCK CONCRETE WASHOUT

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

60 EAST BATTERY AVENUE, SUITE 100, NEW BRITAIN, PA 18901 • P 610-253-3434 • www.gillmore-associates.com

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DATE: 08/07/25

REV.	DATE	DESCRIPTION	BY
4	08/07/25	LEH	
3	08/07/25	LEH	
2	05/23/25	LEH	
1	05/07/25	JP	

PRELIMINARY-FINAL LAND DEVELOPMENT

920 CENTURY DRIVE WAWA

LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

EROSION & SEDIMENT CONTROL PLAN

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT No.: 2308023

OWNERS INFO:
PROVOCO PINEGOOD CENTURY, LLC
705 EAST LANCASTER AVE.
SUITE 200
VILLANOVA, PA 19085
610-520-4572

MUNICIPAL FILE No.: 2025-03

TAX MAP PARCEL No.: 13-24-0795-173

TOTAL AREA: 2.35 AC.

TOTAL LOTS: 1

DATE: 04/21/2025

DRAWN BY: LEH

CHECKED BY: ESC

SHEET NO.: 11 OF 31

C:\Autodesk\Boca\WCDoc\Gilmore and Associates\230802308_PFOVCO_Webw_920_Century_Dr_LD\Project_Files\2024\230802308_DESIGN\CAD\Prod_Dwg\2308023-08_E&S Notes & Details.dwg Layout: E&S NOTES 1 Plotted By: hess, on Thu Aug 07, 2025 at 12:37pm

E&S PLAN PLANNING & DESIGN:

§102.4(b)(4)

THE FOLLOWING MEASURES ARE TAKEN TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE:

- ACCESS THE SITE THROUGH DESIGNATED CONSTRUCTION ENTRANCE(S).
- SEQUENCE CONSTRUCTION ACTIVITIES BY LIMITING DISTURBANCES TO A SPECIFIC TASK SUCH THAT EACH TASK IS COMPLETED BEFORE THE NEXT TASK IS INITIATED.

THE FOLLOWING MEASURES ARE TAKEN TO MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION:

- ACCESS THE SITE THROUGH DESIGNATED CONSTRUCTION ENTRANCE(S) AND EARTHWORK ONLY ALLOWED WITHIN THE LIMITS OF DISTURBANCE.

THE FOLLOWING MEASURES ARE TAKEN TO MINIMIZE SOIL COMPACTION:

- ACCESS THE SITE THROUGH DESIGNATED CONSTRUCTION ENTRANCE(S).
- EARTHWORK ONLY ALLOWED WITHIN THE LIMITS OF DISTURBANCE.
- USE OF TREADED MACHINERY WHERE PRACTICAL DURING EARTHMOVING OPERATIONS

THE FOLLOWING MEASURES ARE TAKEN TO PREVENT OR MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF:

- PROVIDE MRC STORAGE SYSTEM STORMWATER CONTROL MEASURE (SCM)

VOLUME AND RATE OF RUNOFF FROM THE PROJECT SITE AND ITS UPSTREAM WATERSHED AREA

§102.4(b)(5)(iv)

THE ENTIRE PROJECT SITE AND DISTURBANCE AREA ARE LOCATED IN THE CEDAR RUN WATERSHED. RUNOFF FROM THIS SITE DRAINS TO SEVERAL UNNAMED TRIBUTARIES TO CEDAR RUN (POI-1 & POI-2) WHICH HAVE A RECEIVING WATER CLASSIFICATION OF COLD WATER FISHES, MIGRATORY FISHES (CWF, MF), PER CHAPTER 93 OF THE PA CODE.

LOCATION OF ALL SURFACE WATERS AND THEIR CLASSIFICATION UNDER CHAPTER 93

§102.4(b)(5)(v)

THE ENTIRE PROJECT SITE AND DISTURBANCE AREA ARE LOCATED IN THE CEDAR RUN WATERSHED. RUNOFF FROM THIS SITE DRAINS TO SEVERAL UNNAMED TRIBUTARIES TO CEDAR RUN (POI-1 & POI-2) WHICH HAVE A RECEIVING WATER CLASSIFICATION OF COLD WATER FISHES, MIGRATORY FISHES (CWF, MF), PER CHAPTER 93 OF THE PA CODE.

THERE ARE NO AREAS OF HIGH QUALITY (HQ) OR EXCEPTIONAL VALUE (EV) WATERSHEDS ON THIS PROPERTY SITE, NOR DOES ANY AREA OF THE PROPERTY FLOW TO AN HQ OR EV WATERSHED.

THERE ARE NO RIPARIAN FOREST BUFFERS ON THE PROJECT SITE.

EROSION AND SEDIMENT CONTROL BMP MEASURES:

§102.4(b)(5)(vi)

ROCK CONSTRUCTION ENTRANCE WITH (RCE):

- A STONE PAD WITH THAT SHALL BE PLACED AT THE ENTRANCE OF THE PROPOSED SITE WHERE LARGE VEHICLES ENTER OR EXITS FOR CONSTRUCTION ACTIVITIES. RCE MUST BE AT LEAST 50 FEET IN LENGTH AND THE WIDTH OF THE PROPOSED ENTRANCE.

COMPOST FILTER SOCK:

- A FILTER FABRIC FENCE USED TO CONTROL RUNOFF FROM SMALL DISTURBED AREAS WHEN IT IS IN THE FORM OF SHEET FLOW.

ROCK FILTER OUTLET (RFO):

- A STONE SEDIMENT BARRIER USED TO ADDRESS PROBLEMS DUE UNANTICIPATED CONCENTRATED RUNOFF TO OTHER TYPES OF SEDIMENT BARRIERS.

INLET PROTECTION (IP):

- SILT SACK DEVICE INSERTED INTO TYPE 'M' AND TYPE 'C' INLETS DURING CONSTRUCTION ACTIVITIES TO PREVENT SEDIMENT RUNOFF DOWNSTREAM.

PUMPED WATER FILTER BAG:

- A GEOTEXTILE FABRIC DEVICE USED TO FILTER WATER PUMPED DURING DEWATERING OPERATIONS FROM DISTURBED AREA TO WELL-VEGETATED (GRASSY), STABLE, EROSION-RESISTANT AREAS.

EROSION CONTROL BLANKETS:

- EROSION PREVENTION FABRIC OR APPROVED EQUAL THAT PROTECTS DRAINAGE SWALES, BERMS, AND BASIN EMBANKMENTS FROM ACCELERATED EROSION DURING CONSTRUCTION ACTIVITIES.

SOIL/TOPSOIL STOCKPILE:

- STAGING AREA TO BE PLACED IN AN UPSTREAM LOCATION FOR TEMPORARY STORAGE OF STRUCTURAL FILL AND TOPSOIL. STRUCTURAL FILL AND TOPSOIL STOCKPILES SHALL BE MAINTAINED SEPARATE FROM EACH OTHER AND TOPSOIL STOCKPILES SHALL BE SEED FOR TEMPORARY STABILIZATION. A SILT FENCE BARRIER SHALL BE PLACED AT THE DOWNSTREAM BASE OF EACH STOCKPILE.

CONCRETE WASHOUT:

- SUITABLE FACILITY SURROUNDED BY COMPOST SOCK FOR CLEANOUT OF CHUTES, MIXERS, AND HOPPERS USED FOR CONCRETE WORK TO PREVENT WATER FROM ENTERING THE SITE OR NEARBY WATERWAY.

TREE PROTECTION FENCE (TPF):

- SILT FENCE DEVICE USED TO PREVENT DAMAGE OR IMPACT TO EXISTING OR PROPOSED TREES DURING CONSTRUCTION ACTIVITIES.

MONITORING, INSPECTION, AND REPORTING REQUIREMENTS:

§102.4(b)(5)(x)

VISUAL INSPECTIONS

THE PERMITTEE / CO-PERMITTEE(S) MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND WITHIN 24 HOURS AFTER EACH MEASURABLE RUNOFF EVENT THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE RECEIPT AND ACKNOWLEDGEMENT OF THE NOTICE OF TERMINATION BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE VISUAL SITE INSPECTIONS AND REPORTS SHALL BE COMPLETED IN A FORMAT PROVIDED BY THE DEPARTMENT, AND CONDUCTED BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT E&S BMPs AND PCSM BMPs ARE PROPERLY CONSTRUCTED AND MAINTAINED TO EFFECTIVELY MINIMIZE POLLUTION TO THE WATERS OF THE COMMONWEALTH. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT AND INCLUDE AT A MINIMUM:

- A SUMMARY OF SITE CONDITIONS, E&S BMP AND PCSM BMP IMPLEMENTATION AND MAINTENANCE, AND COMPLIANCE ACTIONS; AND
- THE DATE, TIME, NAME, AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION.

NONCOMPLIANCE REPORTING

WHERE E&S, PCSM OR PPC BMPs ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION, OR ANY OTHER TIME, THE PERMITTEE / CO-PERMITTEE(S) SHALL, WITHIN 24 HOURS, CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT, BY PHONE OR PERSONAL CONTACT, FOLLOWED BY THE SUBMISSION OF A WRITTEN REPORT WITHIN 5 DAYS OF THE INITIAL CONTACT. NONCOMPLIANCE REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:

- ANY CONDITION ON THE PROJECT SITE WHICH MAY ENDANGER PUBLIC HEALTH, SAFETY, OR THE ENVIRONMENT, OR INVOLVE INCIDENTS WHICH CAUSE OR THREATEN POLLUTION;
- THE PERIOD OF NONCOMPLIANCE, INCLUDING EXACT DATES AND TIMES AND/OR ANTICIPATED TIME WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE;
- STEPS BEING TAKEN TO REDUCE, ELIMINATE, AND PREVENT REOCCURRENCE OF THE NONCOMPLIANCE; AND
- THE DATE OR SCHEDULE OF DATES, AND IDENTIFYING REMEDIES FOR CORRECTING NONCOMPLIANCE CONDITIONS.

REDUCTION, LOSS, OR FAILURE OF THE BMPs

UPON REDUCTION, LOSS, OR FAILURE OF THE BMPs, THE PERMITTEE / CO-PERMITTEE SHALL TAKE IMMEDIATE ACTION TO RESTORE THE BMPs OR PROVIDE AN ALTERNATIVE METHOD OF TREATMENT. SUCH RESTORED BMPs OR ALTERNATIVE TREATMENT SHALL BE AT LEAST AS EFFECTIVE AS THE ORIGINAL BMPs.

TERMINATION OF COVERAGE

NOTE: UPON PERMANENT STABILIZATION OF EARTH DISTURBANCE ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITIES THAT ARE AUTHORIZED BY THIS PERMIT AND WHEN BMPs IDENTIFIED IN THE PCSM PLAN HAVE BEEN PROPERLY INSTALLED, THE PERMITTEE AND/OR CO-PERMITTEE OF THE FACILITY MUST SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM THAT IS SIGNED IN ACCORDANCE WITH PART B, SECTION 1.C, SIGNATORY REQUIREMENTS, OF THIS PERMIT. ALL LETTERS CERTIFYING DISCHARGE TERMINATION ARE TO BE SENT TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE N.O.T. MUST CONTAIN THE FOLLOWING INFORMATION: FACILITY NAME, ADDRESS, AND LOCATION, OPERATOR NAME AND ADDRESS, PERMIT NUMBER, IDENTIFICATION AND PROOF OF ACKNOWLEDGMENT FROM THE PERSONS WHO WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE PCSM BMPs IN ACCORDANCE WITH THE APPROVED PCSM PLAN, AND THE REASON FOR PERMIT TERMINATION. UNTIL THE PERMITTEE HAS RECEIVED WRITTEN ACKNOWLEDGEMENT OF THE N.O.T., THE PERMITTEE WILL REMAIN RESPONSIBLE FOR OPERATING AND MAINTAINING ALL E&S BMPs AND PCSM BMPs ON THE PROJECT SITE AND WILL BE RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE.

COMPLETION CERTIFICATE AND FINAL PLANS

WITHIN 30 DAYS AFTER THE COMPLETION OF EARTH DISTURBANCE ACTIVITIES AUTHORIZED BY THIS PERMIT, INCLUDING THE PERMANENT STABILIZATION OF THE SITE AND PROPER INSTALLATION OF PCSM BMPs IN ACCORDANCE WITH THE APPROVED PCSM PLAN, OR UPON SUBMISSION OF THE N.O.T., IF SOONER, THE PERMITTEE SHALL FILE WITH THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT A STATEMENT SIGNED BY A LICENSED PROFESSIONAL AND BY THE PERMITTEE CERTIFYING THAT WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND THE APPROVED E&S AND PCSM PLANS.

MAINTENANCE PROGRAM FOR E&S CONTROL FACILITIES

§102.4(b)(5)(x)

1. WASTE MANAGEMENT:

- BUILDING MATERIALS AND OTHER CONSTRUCTION SITE WASTES MUST BE PROPERLY MANAGED AND DISPOSED OF IN ACCORDANCE WITH THE RECYCLING OR DISPOSAL OF MATERIALS GUIDELINES. UNDER NO CIRCUMSTANCES SHALL EROSION AND SEDIMENT CONTROL BMPs BE USED FOR TEMPORARY STORAGE OF DEMOLITION MATERIALS OR CONSTRUCTION WASTES.

- WHEREVER HEAVY EQUIPMENT WILL BE USED DURING CONSTRUCTION OF THE CUTS AND FILLS OR PROPOSED BUILDINGS, A POLLUTION PREVENTION CONTINGENCY (PPC) PLAN SHALL BE AVAILABLE ON SITE. THE PERMITTEE SHALL BE RESPONSIBLE FOR PREPARING AND IMPLEMENTING A PPC PLAN WHEN STORING, USING OR TRANSPORTING MATERIALS INCLUDING: FUELS, CHEMICALS, SOLVENTS, PESTICIDES, FERTILIZERS, LIME, PETROCHEMICALS, WASTE WATER, WASH WATER, CORE DRILLING WASTE WATER, CEMENT, SANITARY WASTES, SOLID WASTES, OR HAZARDOUS MATERIALS ONTO, ON, OR FROM THE PROJECT SITE DURING EARTH DISTURBANCE ACTIVITIES. THE PPC SHALL BE AVAILABLE UPON REQUEST BY THE DEPARTMENT OR CONSERVATION DISTRICT.

- ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS SHALL BE FOLLOWED IN THE USE, HANDLING AND DISPOSAL OF POTENTIALLY HAZARDOUS MATERIALS.

2. DEWATERING WATER AREAS:

- WHENEVER SITE CONDITIONS REQUIRE DEWATERING, PUMPED WATER SHALL BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGING TO A SURFACE WATER. WATER PUMPED FROM DISTURBED AREAS SHALL NOT BE DIRECTED TO THE BASIN OR ANY EROSION AND SEDIMENT CONTROL BMP NOT SPECIFICALLY DESIGNED FOR THIS PURPOSE.

3. PUMPED WATER FILTER BAG:

- FILTER BAGS MAY BE USED TO FILTER SEDIMENT FROM DEWATERING OPERATIONS AS NEEDED.

- THE MAXIMUM PUMPING RATE FOR ANY BAG IN USE OR PROPOSED FOR USE SHALL BE AVAILABLE AT THE SITE AT ALL TIMES DURING PUMPING OPERATIONS.

- PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS.

- PUMP DISCHARGE HOSE SHALL BE INSERTED IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.
- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED.

- BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

- PUMP INTAKES SHALL BE FLOATING AND SCREENED.

- SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.

- BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREAS, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED.

- BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE, NON-POLLUTING MATERIAL SHALL BE PLACED UNDER THE BAG TO REDUCE THE SLOPE STEEPNESS.

- BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY.

- COMPOST FILTER SOCK SHALL BE INSTALLED DOWNSTREAM OF BAGS IF LOCATED WITHIN 50 FEET OF RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

- FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

4. ROCK CONSTRUCTION ENTRANCE WITH WASH RACK:

- INSPECT WEEKLY AND AFTER EACH RUNOFF EVENT
- MAINTAIN THICKNESS TO THE SPECIFIED DIMENSIONS BY ADDING ROCK AS NEEDED. A STOCKPILE OF ROCK SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE.

- ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY.

- IF EXTENSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FEET INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. SEDIMENT DEPOSITS SHALL NOT BE WASHED OR SWEEP INTO ROADWAY DITCHES, SEWERS, CULVERTS OR OTHER DRAINAGE COURSES.

5. COMPOST FILTER SOCK:

- COMPOST FILTER SOCKS SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT.

- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVE GROUND HEIGHT OF THE SOCK.

- DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

- COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 1 YEAR OF OPERATION.

6. ROCK FILTER OUTLET:

- ROCK FILTER OUTLETS SHALL ONLY BE UTILIZED IF A PERIMETER CONTROL FAILS DUE TO UNEXPECTED CONCENTRATED FLOW.

- A STOCKPILE OF STONE SHALL BE MAINTAINED ON SITE FOR INSTALLING OR REPAIRING ROCK FILTER OUTLETS AS NEEDED.

- INSPECT WEEKLY AND AFTER EACH RUNOFF EVENT.

- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 HEIGHT OF OUTLET.

7. EROSION CONTROL BLANKETS:

- BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA.
- DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

8. DUST CONTROL (IRRIGATION):

- THE CONTRACTOR SHALL HAVE AVAILABLE WATER TRUCKS TO CONTROL EXCESSIVE DUST AND AIRBORNE DEBRIS.

- WATER SHALL NORMALLY BE APPLIED A MINIMUM 3 TIMES PER DAY UNLESS WEATHER CONDITIONS WARRANT MORE OR LESS APPLICATIONS.

- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL DEVICES MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROLS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF E&S CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF INSTALLED MEASURES WILL BE REQUIRED.

- ALL AREAS OF CONCENTRATED SURFACE DRAINAGE SHALL BE SEEDDED AND MULCHED, AND PROTECTED WITH TEMPORARY TURF REINFORCEMENT MAT; NORTH AMERICAN GREEN C350 (OR EQUAL). IF AREAS ARE TO BE SOODED, TURF REINFORCEMENT IS NOT REQUIRED.
- SEEDDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED AS NECESSARY AND THEN RESEEDDED. A BURLAP OR STRAW COVER WILL BE APPLIED TO RETAIN THE SEED UNTIL IT HAS A CHANCE TO ROOT PROPERLY.

- THE ABOVE PROCEDURE SHALL BE REPEATED AFTER EACH SIZABLE STORM UNTIL NO MORE SIGNS OF EROSION ARE EVIDENT. AT MONTHLY INTERVALS THEREAFTER, INSPECTIONS AND NECESSARY CLEANING SHALL BE COMPLETED. TRASH THAT IS REMOVED FROM ANY OF THE CONTROL DEVICES SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL AREA. SILT THAT HAS ACCUMULATED SHALL BE REMOVED AND ALLOWED TO DRY AND USED AS FILL WHEREVER REQUIRED ON THE SITE.

- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE MEASURES TO ADDRESS SAID CIRCUMSTANCES AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES. APPROPRIATE MATERIALS SHALD BE KEPT ON HAND TO ADDRESS SUCH EMERGENCY CONDITIONS. CONTRACTOR SHALL NOTIFY LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF DEP REGARDING SAID CONDITION AND MEASURES USED TO ADDRESS SAME.

- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITY HAS CEASED FOR A PERIOD OF 14 DAYS OR MORE, ALL AREAS SHALL BE STABILIZED. DURING NON-GERMINATING PERIODS, MULCH SHALL BE APPLIED AT SPECIFIED RATES. DISTURBED AREAS THAT ARE NOT AT FINISHED GRADE AND REMOVED WITHIN ONE YEAR SHALL BE STABILIZED WITH TEMPORARY VEGETATION. AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR SHALL RECEIVE PERMANENT STABILIZATION. (SEE SEEDING AND MULCHING SCHEDULE FOR DETAILS)

- SEDIMENT REMOVED FROM E&S BMPs SHALL BE DISPOSED OF IN LANDSCAPE AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS, OR DRAINAGE SWALES, AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.

- CONTRACTOR SHALL MAINTAIN AND MAKE AVAILABLE TO THE BUCKS COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF THE ABOVE NOTED INSPECTION AND MAINTENANCE.

SEQUENCE OF CONSTRUCTION:

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED, UNLESS NOTED OTHERWISE. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

AT LEAST 7 DAYS PRIOR TO START OF WORK OR EARTH DISTURBANCE ACTIVITIES, A PRECONSTRUCTION MEETING SHALL BE HELD INCLUDING THE OWNER, SITE CONTRACTOR, TOWNSHIP ENGINEER, CUMBERLAND COUNTY CONSERVATION DISTRICT, DESIGNATED LICENSED PROFESSIONAL ENGINEER, AND THE PLAN DESIGNER.

AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1776 FOR BURIED UTILITY LOCATIONS.

DURING CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE TOWNSHIP ENGINEER'S OFFICE THREE (3) DAYS PRIOR TO THE CONSTRUCTION OF THE PROPOSED BMP STORMWATER MANAGEMENT FACILITIES.

CESSATION OF CONSTRUCTION ACTIVITIES FOR AT LEAST FOUR (4) DAYS SHALL REQUIRE TEMPORARY STABILIZATION FOR ALL DISTURBED AREAS.

- CLEARLY MARK THE LIMITS OF DISTURBANCE (LOD) WITH SURVEY STAKES AND 48-INCH HIGH SNOW FENCE, AS APPROPRIATE, PRIOR TO THE INITIATION OF EARTH DISTURBANCE ACTIVITIES.
- INSTALL ALL TREE PROTECTION FENCING AS SHOWN ON THE PLANS PRIOR TO INITIATION OF EARTH DISTURBANCE ACTIVITIES. TREE PROTECTION FENCING SHALL BE CHECKED DAILY AT THE BEGINNING OF THE WORK DAY. REPLACEMENT FENCING IN KIND SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

- PERIMETER CONTROL MEASURES:
- INSTALL ROCK CONSTRUCTION ENTRANCE (50-FT LENGTH)
- INSTALL COMPOST FILTER SOCKS AS SHOWN ON THE PLANS. COMPOST FILTER SOCKS SHALL BE CHECKED DAILY AT THE BEGINNING OF THE WORK DAY. REPLACEMENT SOCKS IN KIND SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY. ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF COMPOST FILTER SOCK OCCURS DUE TO CONCENTRATED FLOW.

- THE PERMITTEE MUST INFORM THE CUMBERLAND COUNTY CONSERVATION DISTRICT AND THE DEPARTMENT THAT THE APPLICABLE EROSION AND SEDIMENT CONTROL FACILITIES AS SET FORTH IN THE CONSTRUCTION SEQUENCE HAVE BEEN CONSTRUCTED, STABILIZED, AND ARE FUNCTIONAL BEFORE EARTH DISTURBANCE IN ANY AREA. EACH STEP OF THE SEQUENCE MUST BE COMPLETED PRIOR TO ADVANCING TO THE NEXT STEP.

- EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE GENERAL SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS.

- ALL EROSION CONTROL DEVICES SHALL BE CHECKED WEEKLY (OR DAILY IF SPECIFIED) AND AFTER EACH RAIN EVENT. ALL PREVENTATIVE REMEDIAL MAINTENANCE WORK INCLUDING REPAIR, REPLACEMENT, RE-GRADING, RESEEDING, REMULCHING, AND RENETTING SHALL BE PERFORMED IMMEDIATELY.
- SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF RUNOFF OR SEDIMENT DISPLACEMENT. SPECIAL ATTENTION SHALL BE GIVEN TO FROZEN SLOPES, STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE, AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.

- CLEAR AND GRUB TOPSOIL WITHIN STAKED-OUT LIMIT OF DISTURBANCE. STRIP AND STOCKPILE TOPSOIL PER PLAN LOCATION. IMMEDIATELY APPLY TEMPORARY SEEDING AND MULCH TO THE STOCKPILE. COMPOST FILTER SOCKS SHALL BE CHECKED DAILY AT THE BEGINNING OF THE WORK DAY. REPLACEMENT SOCKS IN KIND SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.
- REMOVE ALL OTHER EXISTING IMPROVEMENTS AND CLEAR AND GRUB REMAINDER OF THE STAKED-OUT LIMIT OF DISTURBANCE. CONSTRUCTION AREA AS DELINEATED ON THE PLAN. DISTURBED AREAS TO BE STABILIZED

- INSTALL CONCRETE WASHOUTS AS SHOWN ON THE PLANS.

- ROUGH GRADE SITE. CONTRACTOR TO ADJUST UPSLOPING PORTIONS OF THE ALL COMPOST FILTER SOCKS TO ACCOUNT FOR ELEVATION CHANGES FROM EXISTING TO PROPOSED LAND SLOPES. SOCKS SHALL BE CHECKED FOR DAMAGE AND RESTORED TO ENSURE PROPER FUNCTIONALITY. INSTALL PROPOSED DRAINAGE SWALES AS SHOWN ON THE PLANS. INSTALL EROSION CONTROL SLOPE AND SWALE MATTING AS SHOWN ON THE PLANS.

- NO IMPERVIOUS SURFACES SHALL BE CREATED UNTIL THE PROPOSED STORMWATER CONTROL MEASURE (SCM) IS INSTALLED AND PROPERLY FUNCTIONING.

- RUNOFF SHALL NOT BE DIRECTED TO THE PROPOSED MRC STORAGE SYSTEM SCM UNTIL ALL TRIBUTARY DRAINAGE AREAS ARE STABILIZED.

14. CONSTRUCT PROPOSED MRC STORAGE SYSTEM SCM #1 (CRITICAL STAGE):

- EXCAVATE AND INSTALL PIPING, CHAMBERS, STONE, FABRIC, JUNCTIONS, REINFORCEMENTS, OUTLET STRUCTURES, AND ALL OTHER ASSOCIATED FEATURES PER DESIGN. CARE IS TO BE TAKEN TO NOT COMPACT THE SUBSURFACE BASIN BOTTOM.
- CONTRACTOR TO PROVIDE AS-BUILT INVERTS, ELEVATIONS, TOP OF GRATES, ETC. ON ALL FEATURES AS THEY ARE INSTALLED FOR THE SUBSURFACE BASIN AND OUTLET STRUCTURE.

- BACKFILL AREA OF BASIN INSTALLATION PER SPECIFICATIONS

- INSTALL 48"-HIGH SNOW FENCING AROUND THE PERIMETER OF THE BASIN AS SHOWN ON THE PLANS TO PROTECT FROM CONSTRUCTION TRAFFIC LOADING. PROTECTIVE FENCING SHALL REMAIN IN PLACE FOR THE SUBSURFACE PCSM SCM UNTIL ALL DRAINAGE AREAS TO SCM ARE COMPLETELY STABILIZED.
- INSTALL INLETS AND STORM PIPING DRAINING TO THE BASIN. INSTALL TEMPORARY INLET PROTECTION FILTERS ON INLETS AS THEY ARE INSTALLED.

- A LICENSED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT ON THE PROJECT SITE DURING INSTALLATION OF THESE SCMs.

- INSTALL REMAINING INLETS AND STORM SEWERS IN A DOWNSTREAM-TO-UPSTREAM MANNER. INSTALL TEMPORARY INLET FILTER PROTECTION AS INLETS ARE INSTALLED.

- INSTALL SANITARY, WATER, ELECTRIC, TELECOM, UTILITIES ON-SITE.

- FINAL GRADE PAVEMENT AREAS AND INSTALL STONE AND BINDER COURSES. INSTALL REMAINING IMPROVEMENTS ON-SITE.

- THE CONSTRUCTION OF THE BUILDING MAY BEGIN WHEN THE PAD HAS BEEN APPROVED BY THE OWNER.

- ALL RUNOFF FROM THE SITE MUST BE TREATED UNTIL THE SITE IS STABILIZED.

- THE CUMBERLAND COUNTY CONSERVATION DISTRICT TO BE CONTACTED PRIOR TO CONVERSION OR REMOVAL OF PRIMARY E&S BMPs, INCLUDING COMPOST SOCKS. THE DISTRICT MAY REQUEST A SITE INSPECTION PRIOR TO THE CONVERSION OR REMOVAL OF SUCH FACILITIES.

- CONTRACTOR SHALL FLUSH SEDIMENT ACCUMULATED FROM THE CONSTRUCTION ACTIVITIES FROM ALL SITE STORMWATER SYSTEMS AND TOWNSHIP OWNED FACILITIES.

- MAINTENANCE OF SEEDED OR SOODED AREAS TO BE SUCH THAT AREAS WHICH WASH OUT OR ERODE ARE REPLACED OR REPAIRED UNTIL 50% IS ESTABLISHED. 70% OF EACH SQUARE YARD OF DISTURBED SOIL ON-SITE WILL BE COVERED EVENLY WITH VEGETATION.

- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED (70% UNIFORM STABILIZATION OF DISTURBED SOIL ON SITE WILL BE COVERED WITH VEGETATION), TEMPORARY EROSION CONTROLS INCLUDING COMPOST FILTER SOCK MUST BE REMOVED. SHOULD ANY AREAS BECOME DISTURBED DURING REMOVAL OF THE CONTROLS, THEY MUST BE IMMEDIATELY STABILIZED.

- AFTER COMPLETING ALL PUNCHLIST ITEMS TO THE SATISFACTION OF THE TOWNSHIP ENGINEER, INSTALL WEARING COURSE OR TOP COURSE FOR CONCRETE PAVEMENT OR CONCRETE PAVERS.

- AS-BUILT DRAWINGS OF THE MRC STORAGE SYSTEM SCM AND ALL ASSOCIATED FEATURES SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL. THE SCM WILL NOT BE CONSIDERED FUNCTIONAL UNTIL IT IS PROVED THAT THE SCM MEETS THE VOLUME REQUIREMENTS AND OUTFLOW CHARACTERISTICS OF THE ORIGINAL DESIGN OF THE SCM.

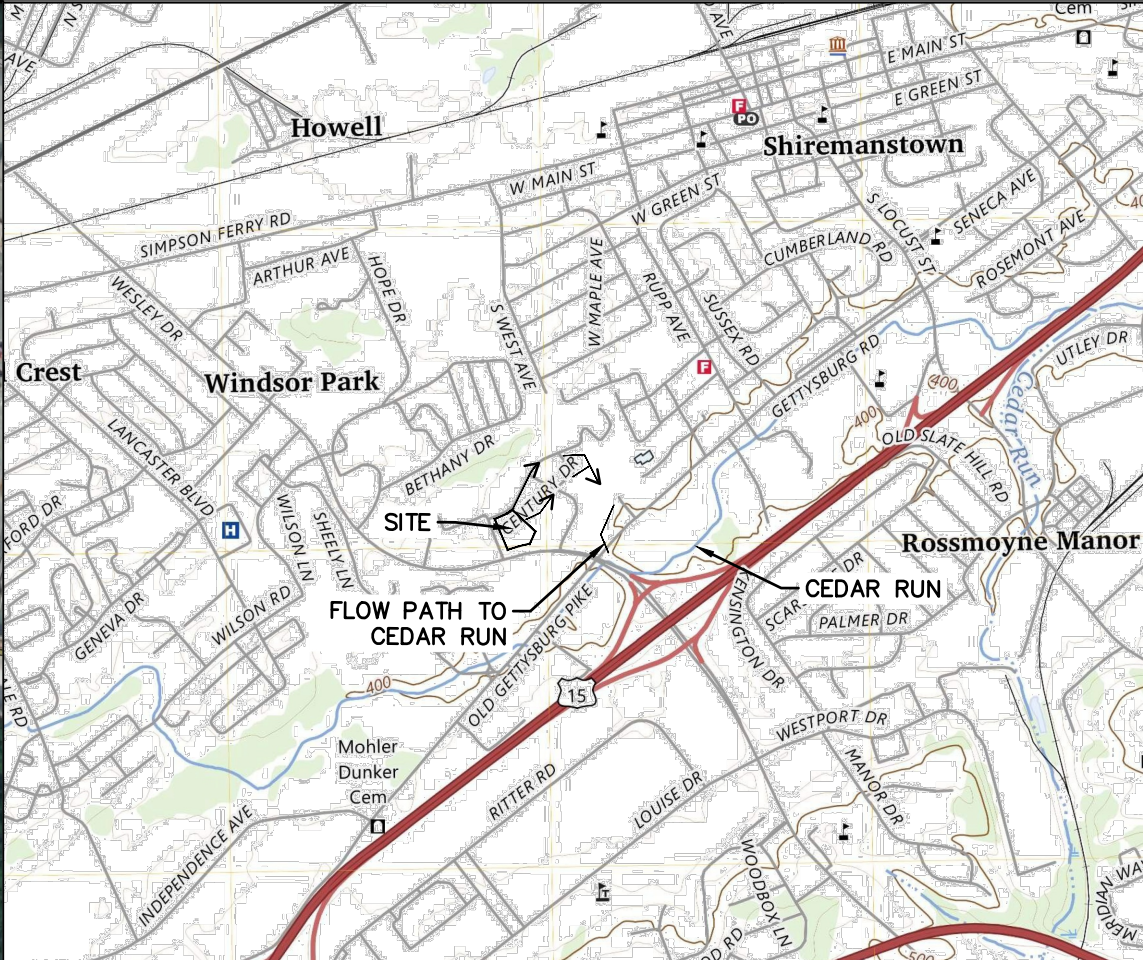
- SUBMIT THE NOTICE OF TERMINATION (N.O.T.) ALONG WITH SIGNED RECORD DOCUMENTS AS REQUIRED TO CLOSE THE MPDES PERMIT.

SOILS LEGEND AND TABLE OF LIMITATIONS & RESOLUTIONS BASED ON USDA-NRCS WEB SOIL SURVEY OF CUMBERLAND COUNTY							
SYMBOL	MAPPING UNITS	SLOPE	LAND CAPBLTY	HYDRIC SOIL	HYDRO. GROUP	DEPTH TO BEDROCK WATER TABLE	LIMITATIONS FOR CONSTRUCTION RESOLUTION OF LIMITATIONS
<i>DuA</i>	DUFFIELD SILT LOAM	0-3%	1	YES	B	60-80"	> 5'
<i>DuB</i>	DUFFIELD SILT LOAM	3-8%	2e	YES	B	60-80"	> 5'
<i>HaB</i>	HAGERSTOWN SILT LOAM	3-8%	2e	YES	B	43-98"	> 5'

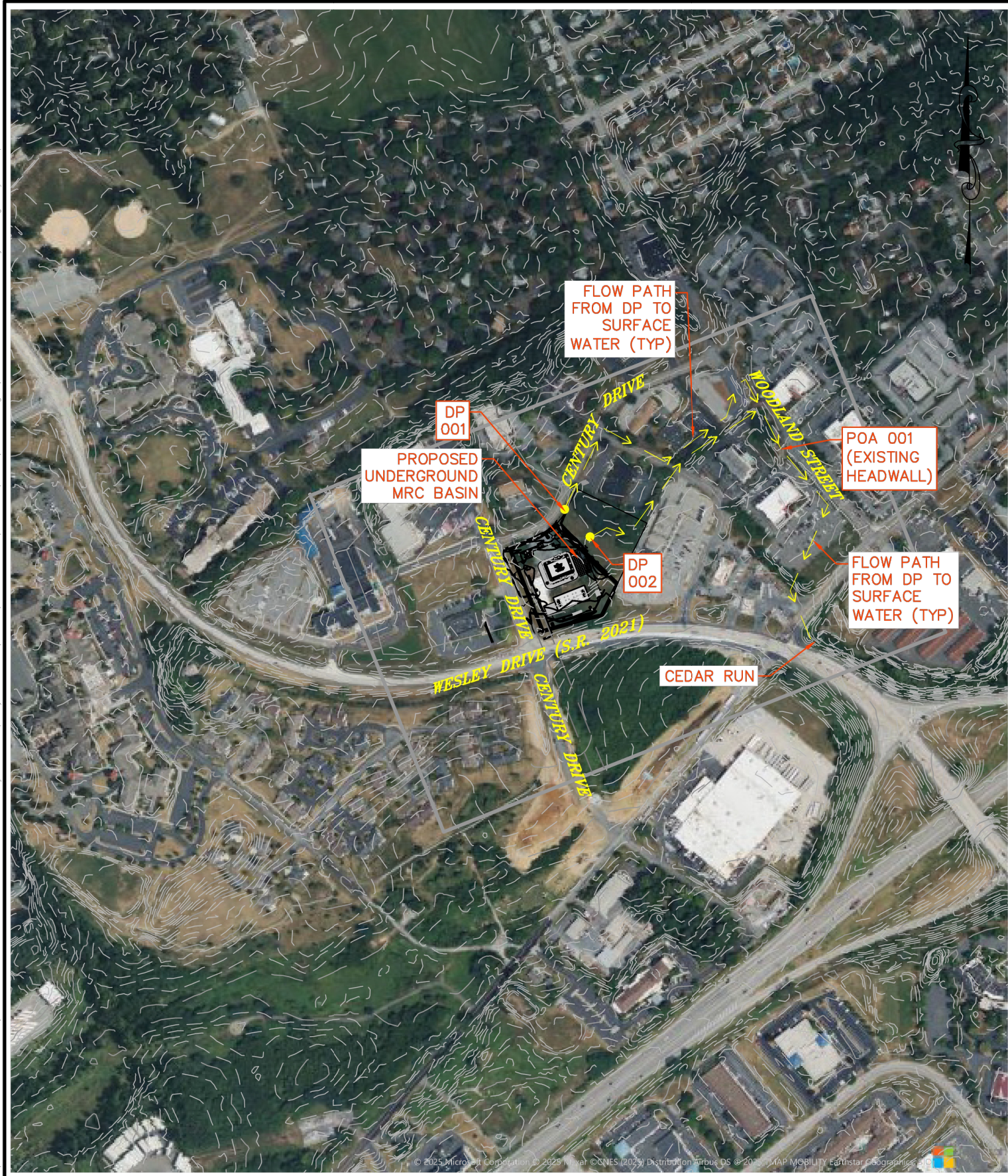
*SEE E&S NOTES SHEET 2 FOR SOILS LIMITATIONS AND RESOLUTION TABLES



SOILS MAP
SCALE: 1"=200'



U.S.G.S. MAP (LOWER ALLEN, PA)
SCALE: 1"=2,000'



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901 • (215) 345-4330

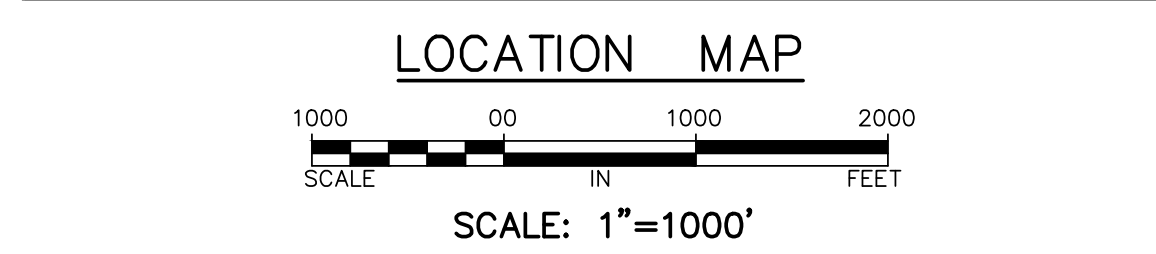
EP ANALYSIS
920 CENTURY DRIVE
WAWA
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

DRAWN BY: JP

JOB NO.: 2308023-08

DATE: 04/23/2025

SCALE: 1"=500'



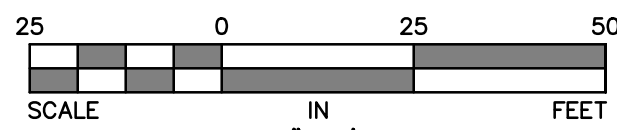
SANITARY STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
BLDG CON A	RIM = 413.70 INV OUT = 413.33		4" PVC INV OUT =413.33
BLDG CON B	RIM = 414.51 INV OUT = 413.33		4" PVC INV OUT =413.33
EX MH	RIM = 405.82		
INL 42 (11)	RIM = 405.64 SUMP = ??? INV IN = 405.27	4" PVC INV IN =405.27	
MH08	RIM = 417.06 SUMP = 407.93 INV IN = 412.97 INV IN = 412.09 INV OUT = 407.93	4" PVC INV IN =412.97 4" PVC INV IN =412.09	4" PVC INV OUT =407.93
SC01	RIM = 417.28 SUMP = 413.26 INV IN = 413.26 INV OUT = 413.26	4" PVC INV IN =413.26	4" PVC INV OUT =413.26
SC02	RIM = 417.23 SUMP = 413.19 INV IN = 413.19 INV OUT = 413.19	4" PVC INV IN =413.19	4" PVC INV OUT =413.19
SC03	RIM = 417.18 SUMP = 413.08 INV IN = 413.08 INV OUT = 413.08	4" PVC INV IN =413.08	4" PVC INV OUT =413.08
SC04	RIM = 417.31 SUMP = 413.30 INV IN = 413.30 INV OUT = 413.30	4" PVC INV IN =413.30	4" PVC INV OUT =413.30
SC05	RIM = 417.26 SUMP = 413.21 INV IN = 413.21 INV OUT = 413.21	4" PVC INV IN =413.21	4" PVC INV OUT =413.21
SC06	RIM = 417.23 SUMP = 413.15 INV IN = 413.15 INV OUT = 413.15	4" PVC INV IN =413.15	4" PVC INV OUT =413.15
SC07	RIM = 417.17 SUMP = 413.15 INV IN = 413.15 INV OUT = 413.15	4" PVC INV IN =413.15	4" PVC INV OUT =413.15
SC09	RIM = 415.05 SUMP = 407.06 INV IN = 407.06 INV OUT = 407.06	4" PVC INV IN =407.06	4" PVC INV OUT =407.06

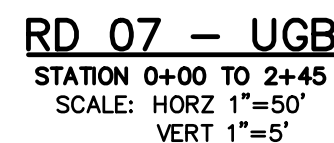
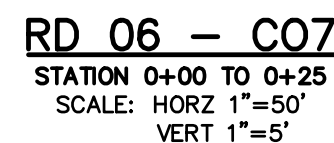
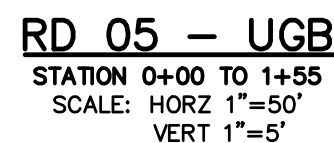
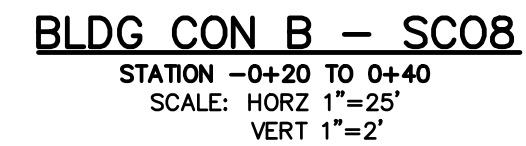
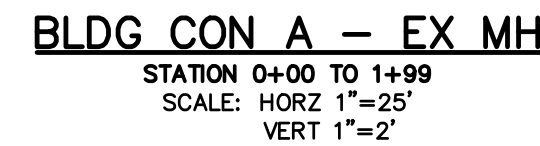
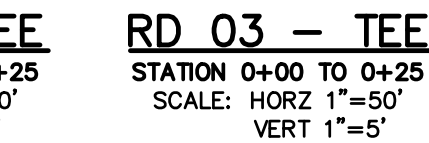
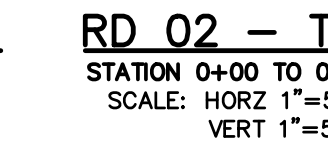
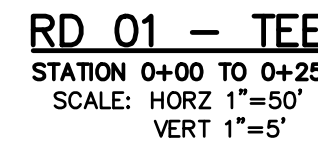
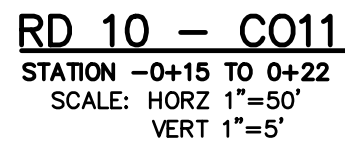
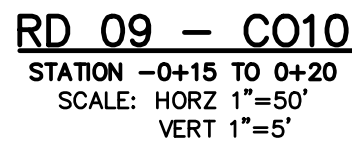
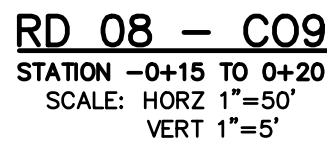
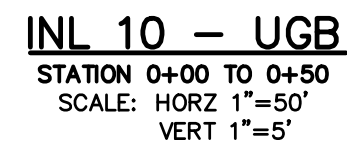
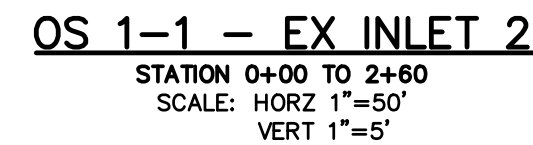
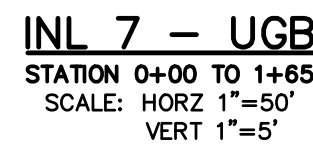
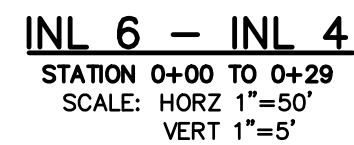
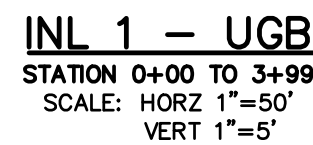
BEFORE YOU DIG ANYWHERE IN
PENNSYLVANIA! CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
DRILL, BLAST OR DEMOLISH
SERIAL NO. 20243203027

LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARKOUTS BY UTILITY OWNERS, AND/OR ABOVE-GROUND OBSERVATION OF THE SITE. THE DRAWINGS WILL BE PERFORMED IN THE PREPARATION OF THESE DRAWINGS. THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE KNOWN LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES, INC.

ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO ANY EXCAVATION. THIS PROJECT IS SUBJECT TO THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON APRIL 28, 2018 PENNSYLVANIA ACT 50.

GILMORE & ASSOCIATES, INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.





REV.	REV.	DESCRIPTION	DATE	BY
1	2	PER UTILITY COORDINATION	05/07/25	JH
2	1	PER RETIEW LTR. DATED 05/13/25	05/23/25	LEH
3	3	PER CODD LTR. DATED 05/27/25	06/30/25	LEH
4	4	PER RETIEW LTR. DATED 06/09/25	06/07/25	LEH

PRELIMINARY—FINAL LAND DEVELOPMENT
920 CENTURY DRIVE WAWA

SWM & SAN PROFILES



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT No.:
2308023

WAWA STORE NO. 8256
OWNERS INFO:
PROVCO PINEGOOD CENTURY, LLC
795 EAST LANCASTER AVE.
SUITE 200
VILLANOVA, PA 19085
610-520-4572

MUNICIPAL FILE No.:
2025-03

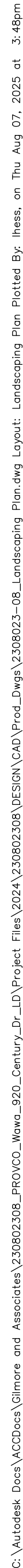
TAX MAP PARCEL No.:	
13-24-0795-173	
TOTAL AREA:	TOTAL LOTS:

TOTAL AREA: 2.35 AC.	TOTAL ESTOS: 1
DATE:	SCALE:

04/21/2025	
DRAWN BY: IFH	CHECKED BY: ESC

SHEET NO.:

16 OF 31



REQUIREMENT:		
DUMPSTERS SHALL BE SCREENED FROM ADJACENT PROPERTIES AND PUBLIC VIEW.	YES	YES

1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS EQUIPMENT, INCIDENTALS AND CLEAN UP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT.
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, BE DENSELY FOLIATED, HAVE VIGOROUS ROOT SYSTEMS AND BE FREE OF DEFECTS AND INJURIES.
4. ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE WELFARE OF THE PLANT MATERIAL, SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIAL.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISIONS SHALL BE MADE FOR A GUARANTEE OF AT LEAST ONE (1) YEAR FOR TREES AND SHRUBS. REPLACEMENT SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
6. INsofar AS IT IS PRACTICABLE, PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY.
7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE 2014 "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN INC., OR LATEST EDITION.
8. ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOIL, STIFF CLAY, LITTER, ETC., SHALL BE USED FOR PLANTING.
9. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LANDSCAPE PRACTICES. PLANTING OPERATIONS SHALL OCCUR BETWEEN APRIL 1 THROUGH JUNE 15 AND SEPTEMBER 1 THROUGH NOVEMBER 1 OF EACH CALENDAR YEAR. IF FAVORABLE PLANTING CONDITIONS EXTEND BEYOND DATES INDICATED HEREIN, AN EXTENSION MAY BE GRANTED BY THE LANDSCAPE ARCHITECT RESPONSIBLE FOR THESE PLANTS.
10. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH A LEVEL THAT AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PLANTING PIT.
11. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF THE PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
12. LANDSCAPING CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO PLACEMENT OF LANDSCAPE MATERIAL. CONTRACTOR SHALL NOT PLACE LANDSCAPING MATERIAL ON TOP OF UTILITY PIPING.
13. PLAN QUANTITIES SUPERSEDE PLANT LIST.
14. THE LANDSCAPE PLAN IS INTENDED FOR LANDSCAPE PURPOSES ONLY.

1. ALL TOPSOIL SHALL BE A MINIMUM 4" IN ALL SOD AREAS AND 8" IN TREE, SHRUB AND GROUP COVER BEDS, INCLUDING PARKING LOT ISLAND BEDS. IT SHALL BE APPROVED BY A WAWA CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION.

2. PLANTING BEHIND PERPENDICULAR PARKING IS TO BE LOCATED A MINIMUM OF 5' BEHIND THE CURB LINE.

3. LANDSCAPE BEDS AND GRASS AREAS ARE TO BE HAND RAKED AND LEFT CLEAR OF ALL STONES, ROCK, CONSTRUCTION DEBRIS AND ANY UNSUITABLE MATERIALS.

4. ALL LANDSCAPE AND GRASS AREAS ARE TO BE IRRIGATED BY AUTOMATIC SPRINKLER SYSTEM. (SEE IRRIGATION SPECIFICATION.)

5. LANDSCAPE CONTRACTOR WILL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND PLANTING INSTALLATION.

6. ALL AREAS TO BE LANDSCAPED OR COVERED WITH STONE MUST BE TREATED WITH A PRE-EMERGENCE HERBICIDE (SURFLAN, DACTAL OR APPROVED EQUAL) IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE REGULATIONS AND THE MANUFACTURER'S INSTRUCTIONS.

7. ALL RIVERSTONE BEDS AROUND TANKS ARE TO BE DELINEATED WITH 5 1/2" ALUMINUM LANDSCAPE EDGING, STAKED AT 3' INTERVALS. ALUMINUM EDGING IS TO BE CLEANLINE 3/16" X 5 1/2" X 16" BY PERMALOC. (800-356-9680, /WWW.PERMALOC.COM.) FOLLOW MANUFACTURERS INSTALLATION DIRECTIONS INCLUDED AT THE END OF THIS SECTION.

8. LANDSCAPE CONTRACTOR TO SUPPLY AND INSTALL A PERVIOUS WEED BARRIER (DEWITT, DUPONT OR APPROVED EQUAL) IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITHIN ALL LANDSCAPES, INCLUDING STONE AND MULCH BEDS. ALL WEED BARRIER WILL BE OVERLAPPED A MINIMUM OF 6" AT ALL SEAMS. AT PLANT LOCATIONS, BARRIER SHOULD BE CUT IN AN 'X' PATTERN SO TO ACCOMMODATE ROOT BALL AND REPLACED AFTER PLANT HAS BEEN INSTALLED.

9. WEED BARRIER SHALL NOT BE VISIBLE IN AREAS DESIGNATED FOR STONE MULCH. WHEN STONE IS CALLED FOR ADJACENT TO CURB OR SIDEWALKS, IT SHALL BE FEATHERED DOWN TO CURB LEVEL FROM A DISTANCE 24" FROM THE CURB.

10. ALL PROPOSED LANDSCAPING TO BE NURSERY GROWN, TYPICAL OF THEIR SPECIES OR VARIETY. THEY ARE TO HAVE NORMAL VIGOROUS ROOT SYSTEMS FREE FROM DEFECTS AND INFECTIONS AND IN ACCORDANCE WITH ANSI Z60.1.

11. ALL PROPOSED PLANTINGS SHOULD BE INSTALLED PER STANDARDS OF THE 'AMERICAN ASSOCIATION OF NURSERYMEN' AND STATE NURSERY/ LANDSCAPE ASSOCIATIONS WITH REGARD TO PLANTING, PIT SIZE, BACKFILL MIXTURE, STAKING AND GUYING.

12. ALL PLANTING CONTAINERS AND BASKETS SHALL BE REMOVED DURING PLANTING. ALL PLANTS SHALL BE SET PLUMB AND POSITIONED SO THAT THE TOP OF THE ROOT COLLAR MATCHES, OR IS NO MORE THAN TWO (2") INCHES ABOVE, FINISHED GRADE. REPLACE AMENDED BACKFILL IN 6-INCH LAYERS AND COMPACT BACKFILL TO ELIMINATE VOIDS. CONTRACTOR SHALL PROVIDE A FOUR-INCH HIGH EARTHEN WATERING SAUCER ALONG THE PERIMETER OF EACH PLANTING. CONTRACTOR SHALL WATER NEWLY PLANTED VEGETATION PRIOR TO MULCHING PLANTING PIT. ALL VOIDS SHALL BE FILLED AND SETTling MITIGATED AS REQUIRED. ALUMINUM EDGING SHALL BE INSTALLED AROUND ALL PLANTING AREAS TO DELINEATE BETWEEN DIFFERENT LANDSCAPE MATERIALS.

13. AFTER INITIAL WATERING AND PRIOR TO MULCHING, CONTRACTOR SHALL APPLY HERBICIDES AND PRE-EMERGENT HERBICIDES AS REQUIRED TO ELIMINATE ANY WEED SEEDS OR PLANTS PRESENT ON ROOT BALL.

14. ALL PLANTING BEDS AND PITS EXCEPT FOR LANDSCAPE ISLANDS ADJACENT TO THE BUILDING AND DESIGNATED AREA AT THE FUEL VENT STACKS, SHALL BE MULCHED WITH DOUBLE GROUND HARDWOOD MULCH AT A MINIMUM DEPTH OF 3". LANDSCAPE ISLANDS ADJACENT TO DESIGNATED AREA AT FUEL STACKS SHALL BE MULCHED WITH 1-3" RIVER STONE" MULCH. FOR LANDSCAPES ADJACENT TO BUILDING, CONTACT PROJECT ENGINEER.

15. SEEDBED PREPARATION

A. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS OR FERTILIZER MAY BE APPLIED AT RATE OF 260 POUNDS PER ACRE OR 6 POUNDS PER 1000 SQUARE FEET USING 10-20-10 OR EQUIVALENT. IN ADDITION, 30 POUNDS 4-1-2 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN MAY BE USED INTO HURRY OF TOPDRESSING.

B. WORK LIME AND FERTILIZER INTO THE SOIL AS PRACTICAL TO A DEPTH OF 4-INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE PARALLEL TO THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.

C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS OUTLINED BELOW.

D. GRASS SEEDING MIXTURE AND APPLICATION RATE:

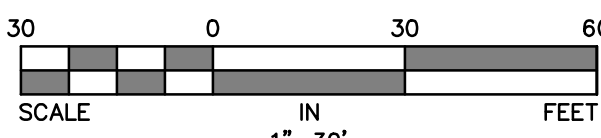
PERCENTAGE OF TOTAL WEIGHT	APPLICATION RATE	SEED TYPE	MINIMUM GERMINATION ALLOWED
60	5-7 LBS/1000 S.F.	"REBEL" TALL FESCUE	90 - 97
35%		"YORKTOWN" PERENNIAL RYE	90 - 98
5%		"STREEKER" REDTOP	90 - 92



E. IN AREAS DESIGNATED AS SOD, FESCUE SOD IS TO BE INSTALLED ON MINIMUM 4" TOPSOIL. AREAS TO BE SODDED ARE TO BE PREPARED AS NOTED ABOVE FOR SEEDBED AREAS.

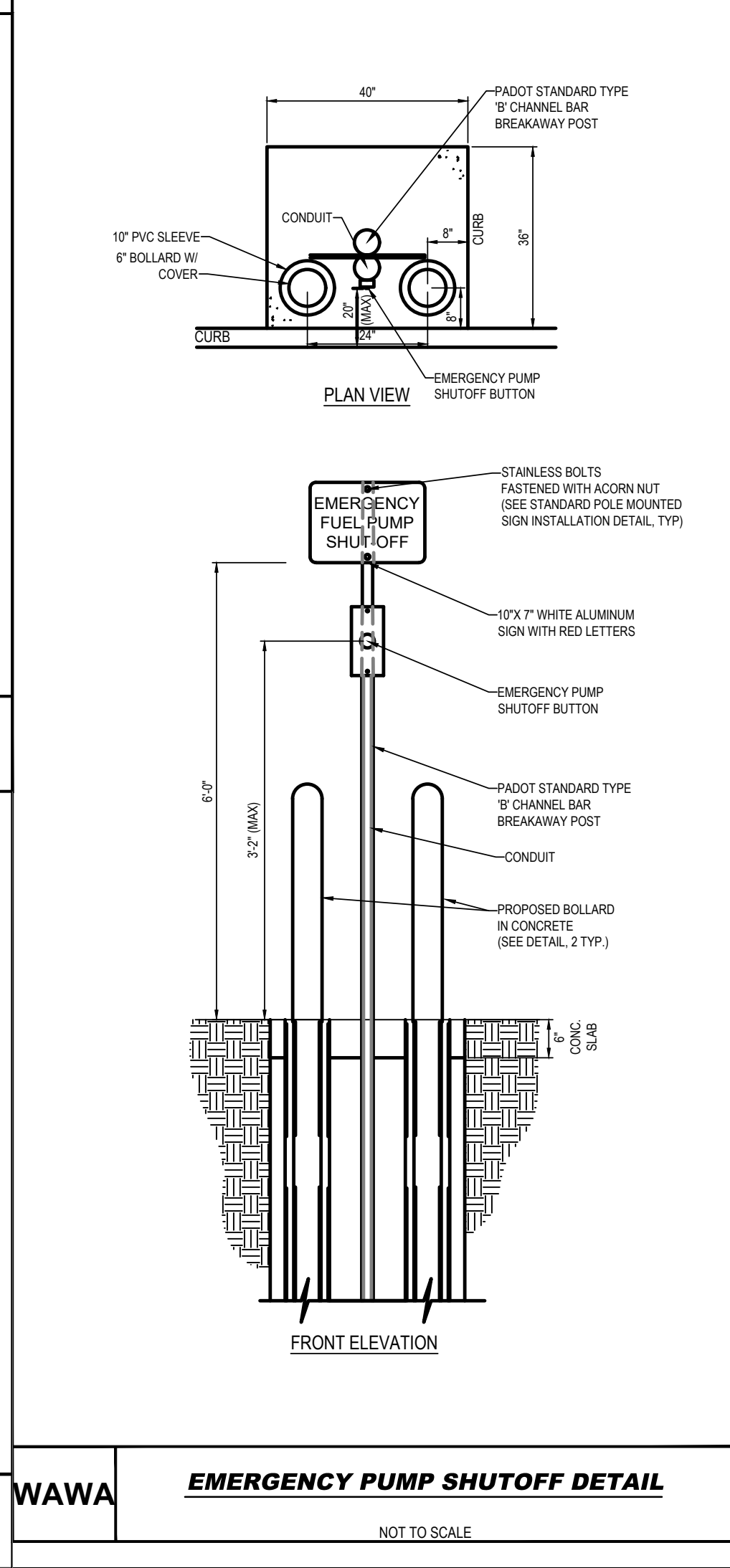
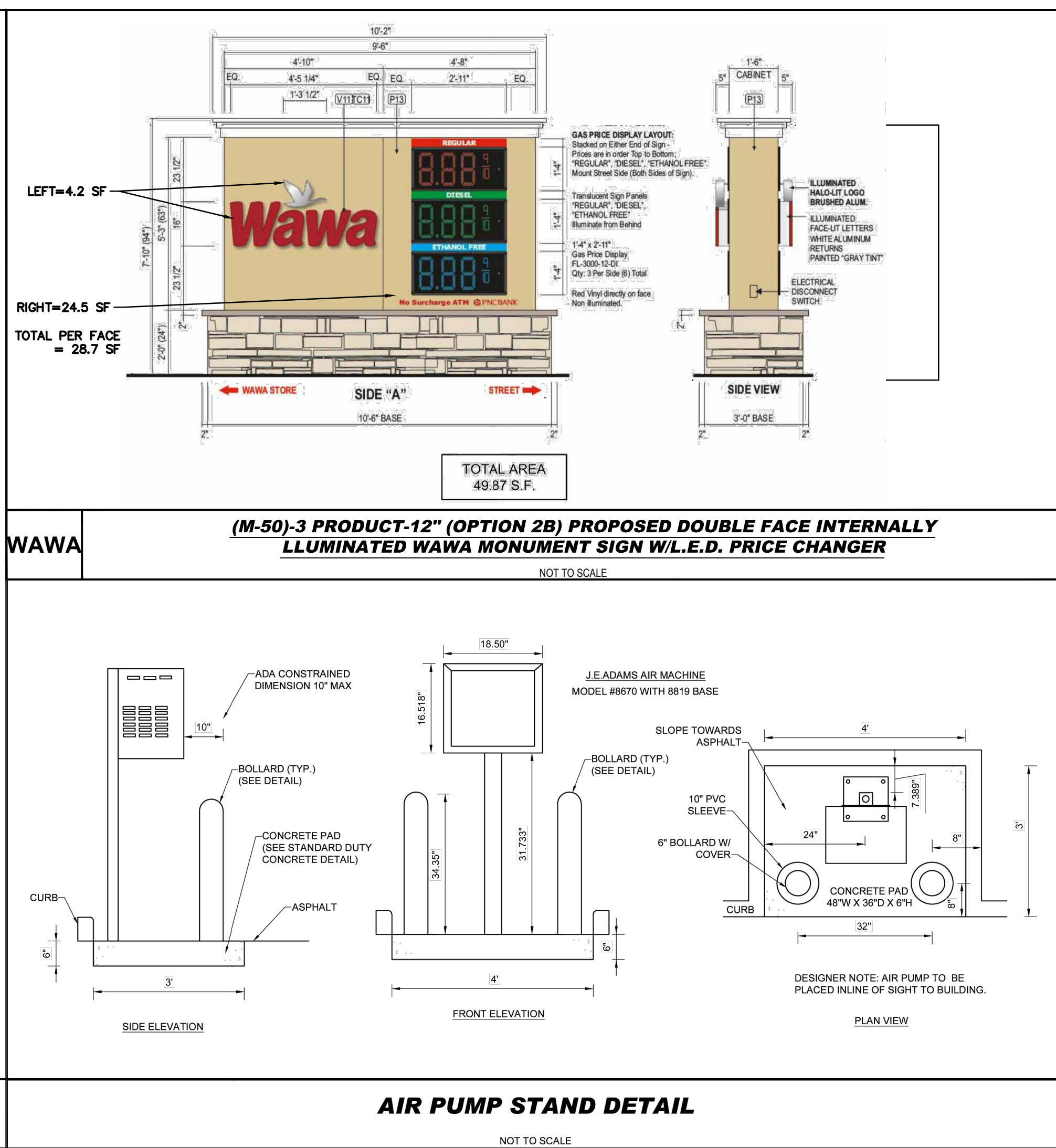
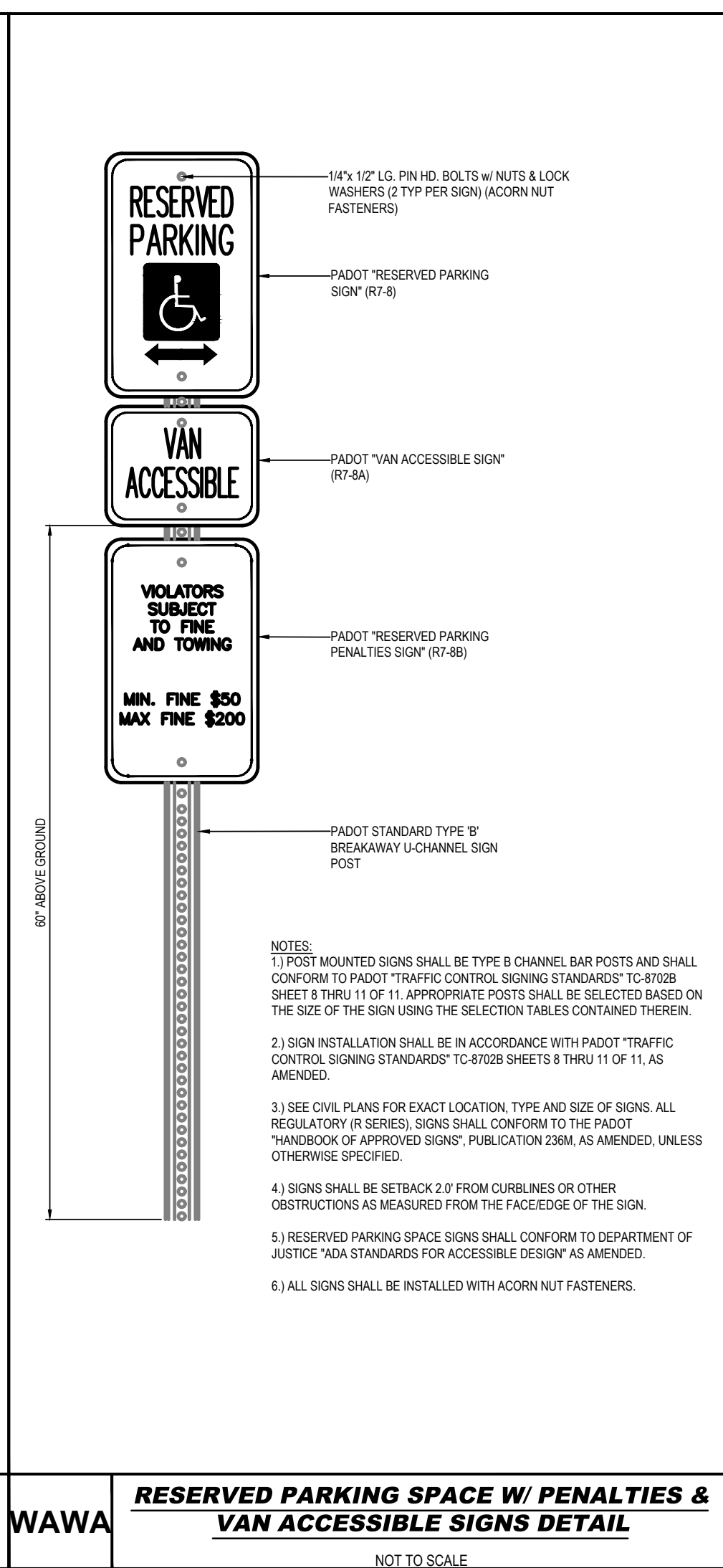
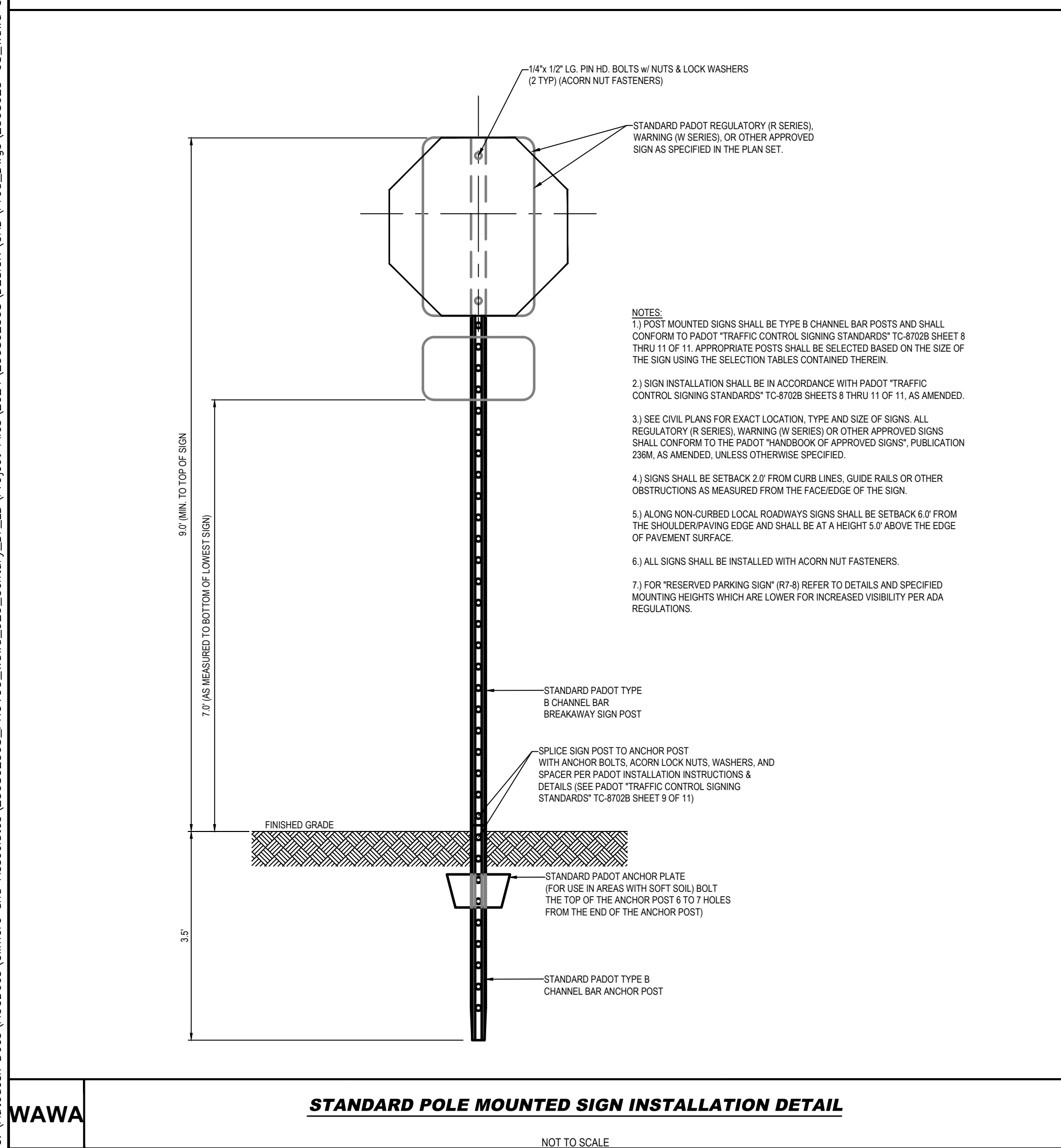
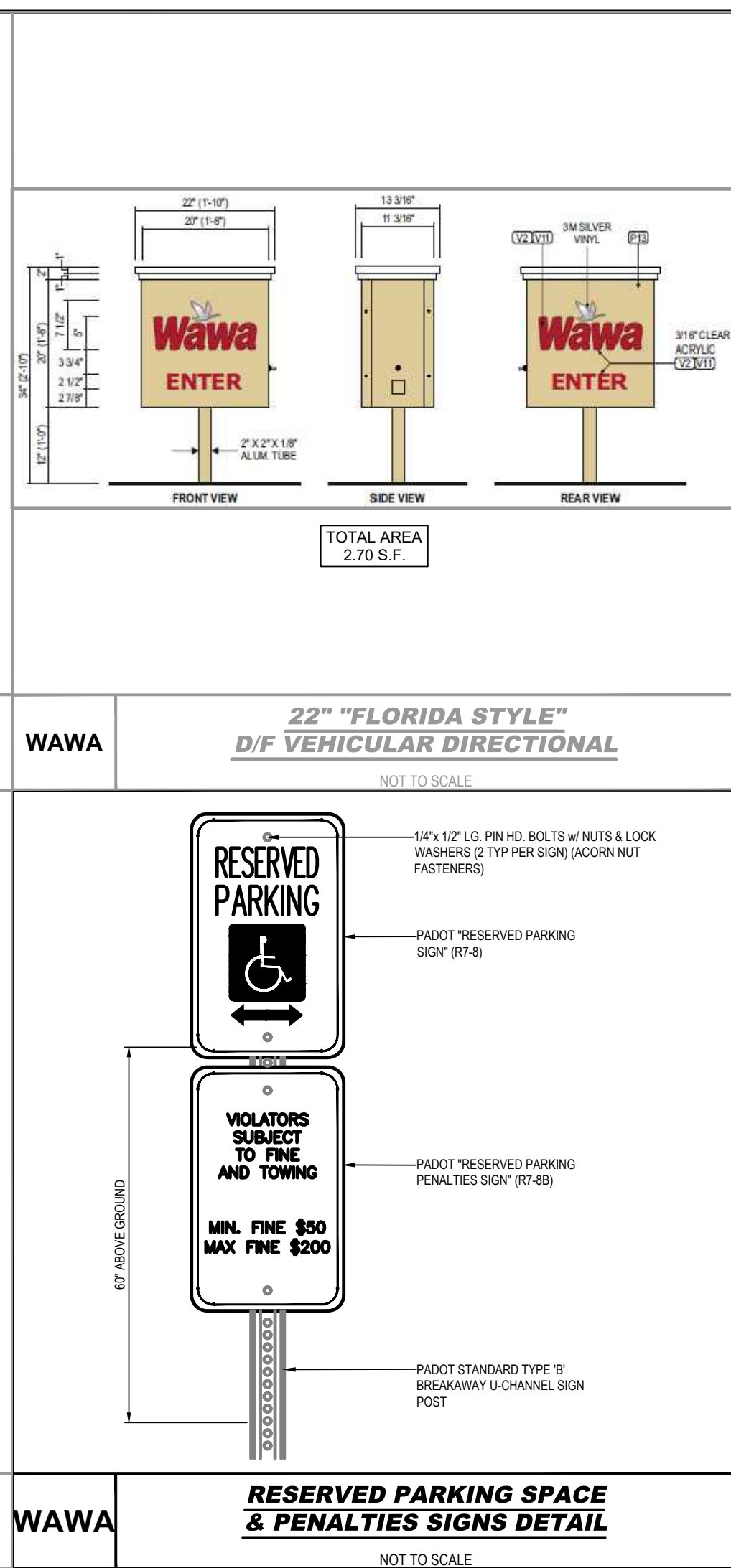
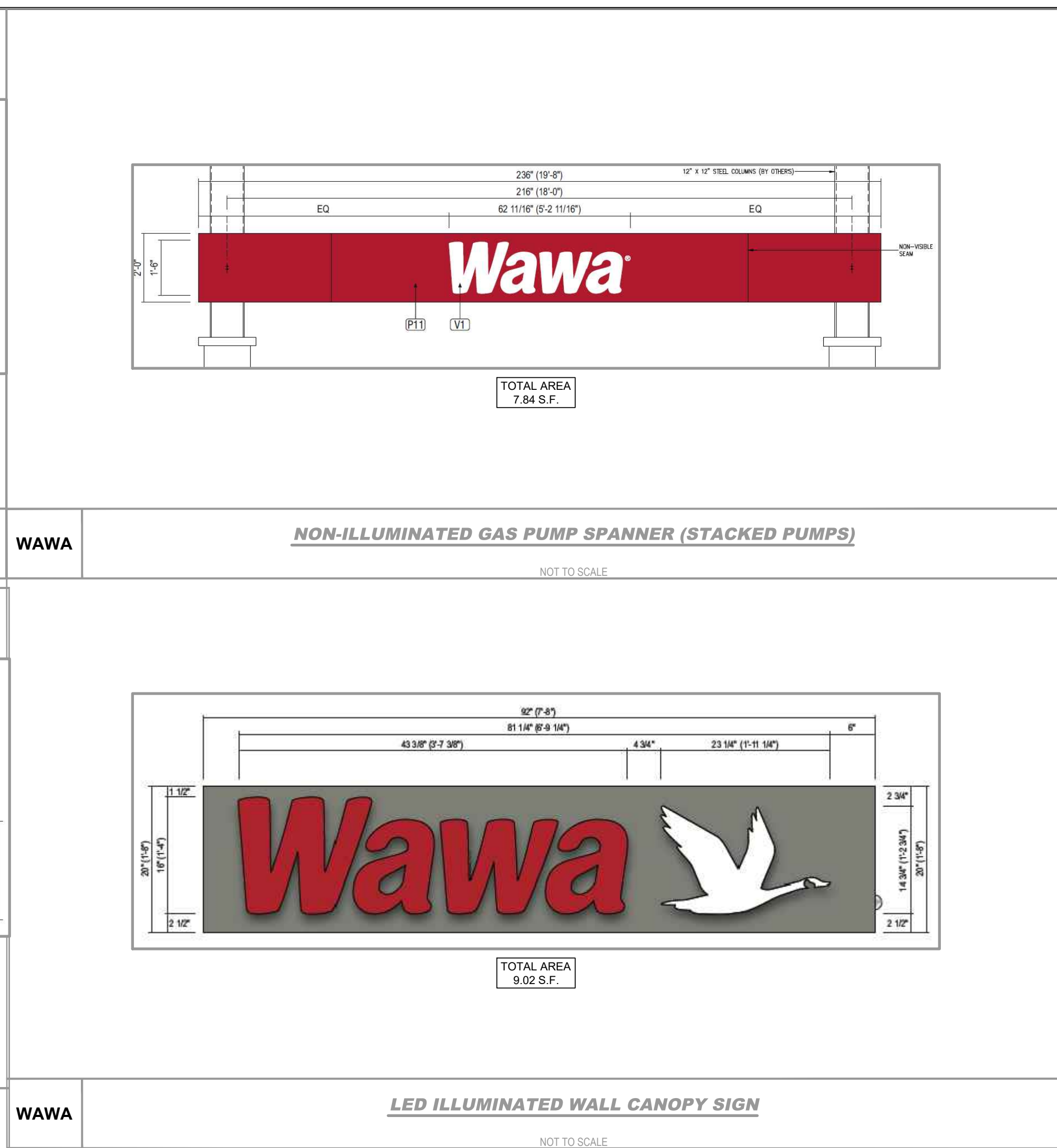
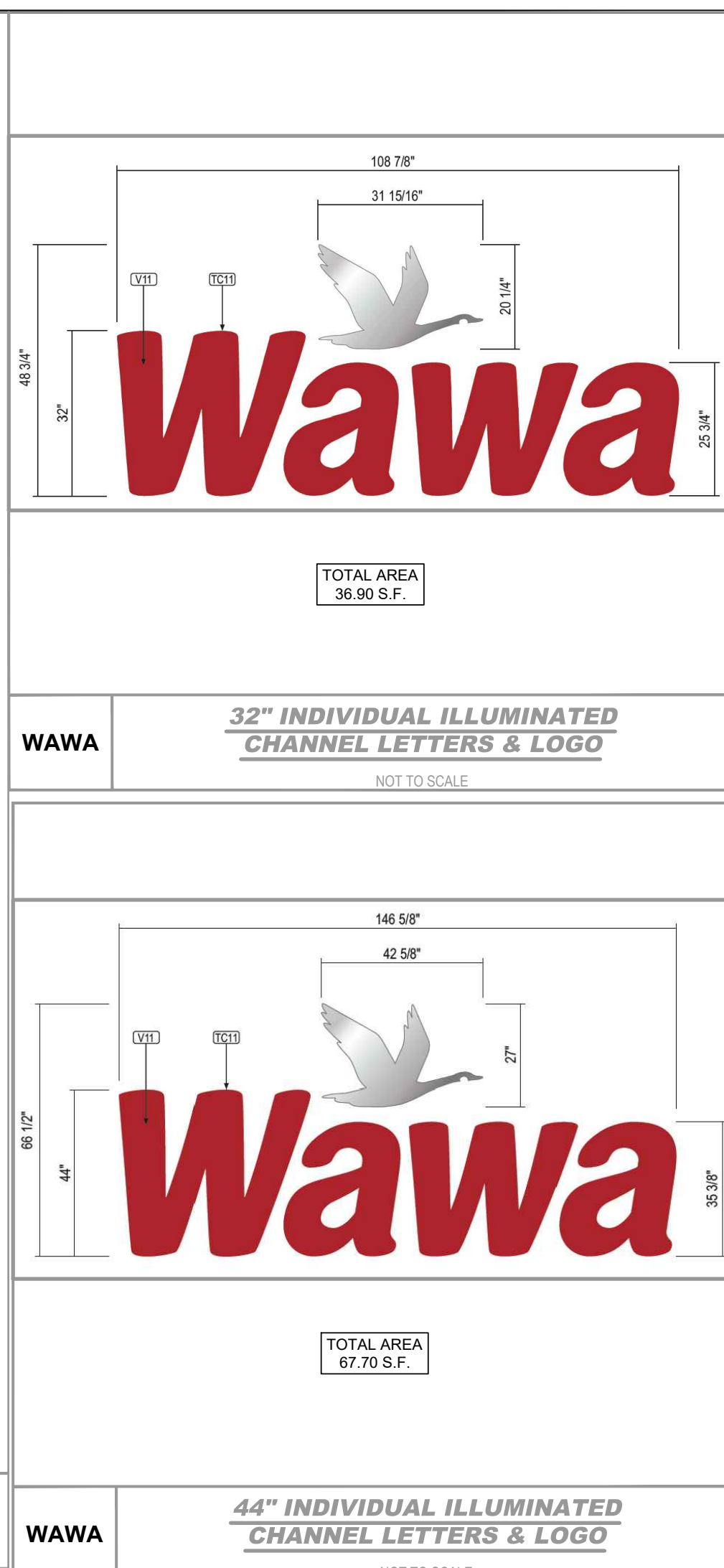
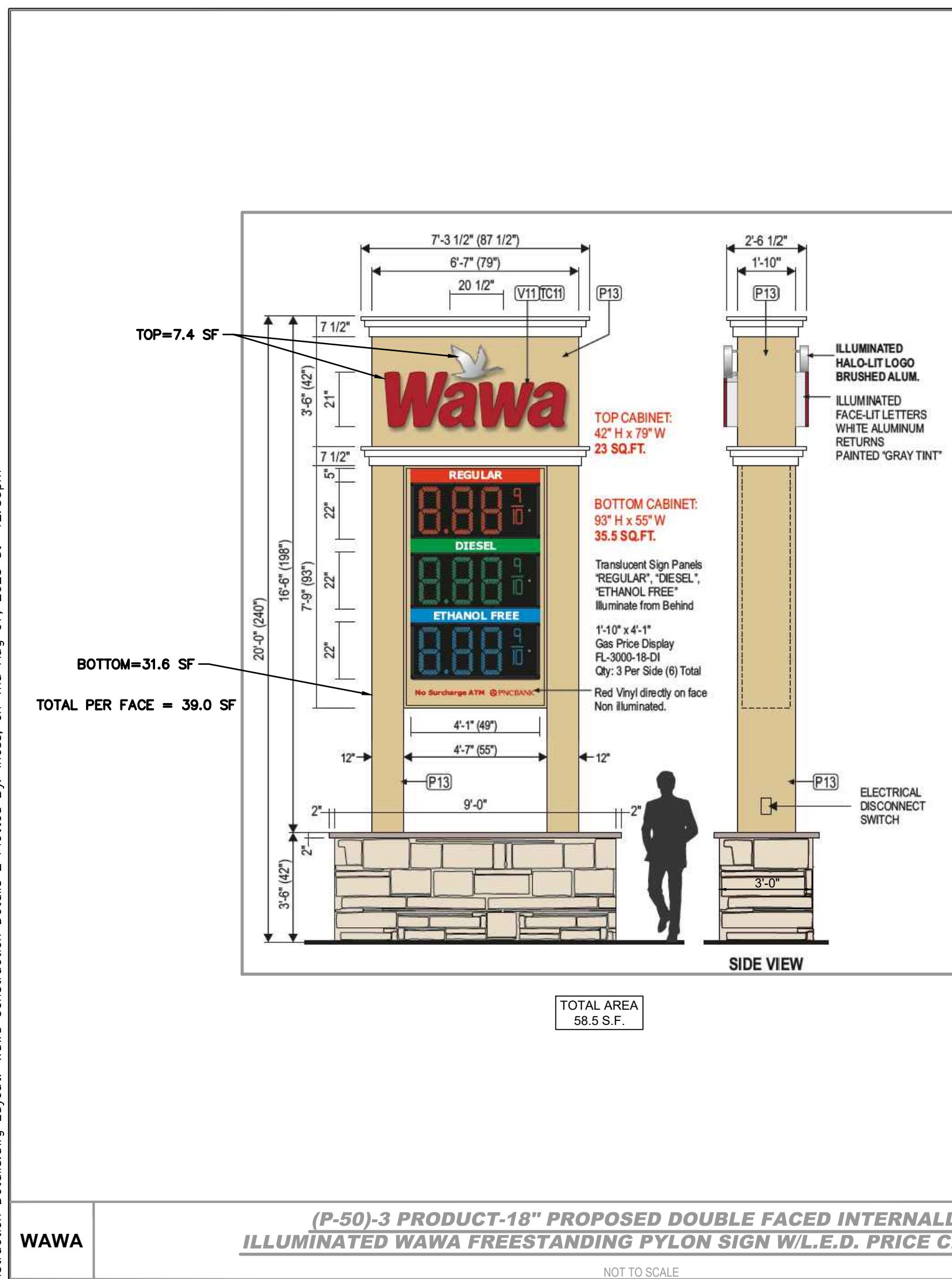
16. PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETENESS. THE CONTRACTOR SHALL REPLACE PLANTS, DEAD, UNHEALTHY, DYING OR DAMAGED THROUGH LOSS OF BRANCHES AND/OR FOLIAGE. LAWNS THAT ARE NOT IN GOOD CONDITION AT THE END OF THE GRANTTEE PERIOD SHALL BE REPAIRED UNTIL A GOOD LAWN RESULTS. IT IS UNDERSTOOD THAT THE OWNER SHALL ASSUME RESPONSIBILITY FOR WATERING ALL PLANT MATERIAL AND LAWN AREA BEGINNING WITH THE DATE OF SUBSTANTIAL COMPLETENESS.

IRRIGATION SYSTEMS SPECIFICATIONS:

1. ALL IRRIGATION SUPPLY, LATERAL WATER LINES AND SPRINKLER HEADS ARE TO BE LOCATED A MINIMUM OF 3" BEHIND CURB LINE.
2. MINIMUM BURIAL DEPTH FOR ALL SUPPLY AND LATERALS IS 18".
3. ALL LANDSCAPE AREA ADJACENT TO BUILDINGS AND PARKING AREAS AROUND BUILDINGS ARE TO BE IRRIGATED BY DRIP SYSTEMS.
4. LAWN AREAS OUTSIDE OF PERIMETER SIDEWALKS ARE TO BE DESIGN AND CONTROLLER PROGRAMMED TO IRRIGATE AT OFF-PEAK HOURS.
5. SPRINKLERS HEADS ARE TO BE THE FOLLOWING:
RAINBIRD 5000 SERIES
RAINBIRD 1804
RAINBIRD 1812
6. DRIP SYSTEMS ARE TO BE NETAFIM DRIPLINE, 18"x18" SPACING WITH 0.9 GPH EMITTERS.
7. IRRIGATION CONTROLLER IS T BE RAINBIRD, ESP-16LX, AUTOMATIC CONTROLLER, LOCATED IN MECHANICAL ROOM OF BUILDING.
8. NO SUBSTITUTIONS OR DEVIATION FROM IRRIGATION PLAN WILL BE ALLOWED.
9. IRRIGATION SYSTEMS ARE TO BE WARRANTIED BY INSTALLING CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF CERTIFICATE OF OCCUPANCY. IRRIGATION CONTRACTOR IS TO PROVIDE MAINTENANCE, ADJUSTMENT, PROGRAMMING AND WINTERIZATION DURING THE FIRST WARRANTY YEAR.
10. SEPARATE WATER METER TO BE FURNISHED FOR IRRIGATION SYSTEM. (SUBJECT TO APPROVAL BY MUNICIPALITY OR APPROVING UTILITY AUTHORITY).



		GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES CORPORATE HEADQUARTERS 86 EAST BUTLER AVENUE SUITE 100, NEW BRITAIN, PA 18901 • (717) 342-4239 • www.gilmore-associ.com	
DATE: 08/07/25		ONLY THOSE INCORPORATING THE PROFESSIONAL SEAL SHOULD BE CONSIDERED OFFICIAL AND REPLIED UPON BY USER. THIS PLAN IS PREPARED SPECIFICALLY FOR THE CLIENT AND PROJECT DESIGNATED HEREON. NO OTHER USE OR REPRODUCTION OF THIS PLAN WITHOUT THE HEREOF CONSENT OF GILMORE & ASSOCIATES, INC. IS PROHIBITED. ©COPYRIGHT 2025 GILMORE & ASSOCIATES, INC. ALL RIGHTS RESERVED	
PRELIMINARY-FINAL LAND DEVELOPMENT 920 CENTURY DRIVE WAWA LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA	LANDSCAPING PLAN	4 PER RETIEW LTR. DATED 06/09/25	LEH 08/07/25
		3 PER CCOD LTR. DATED 03/27/25	LEH 06/30/25
		2 PER RETIEW LTR. DATED 05/13/25	LEH 05/23/25
		1 PER UTILITY COORDINATION	UP 05/07/25
		REV. DESCRIPTION	DATE
 GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES		PROJECT No.: 23080023	
WAWA STATE No. 8256 OWNERS INFO: PROXIMO PINEGROVE DEVELOPMENT, LLC 795 EAST LANCASTER AVE. SUITE 200 VILLANOVA, PA 19085 610-520-4572		MUNICIPAL FILE No.: 2025-03	
TAX MAP PARCEL No.: 13-24-0785-173		TOTAL AREA: 2.35 AC. TOTAL LOTS: 1	
DATE: 04/21/2025 DRAWN BY: LEH		SCALE: 1"=30' CHECKED BY: ESC	
SHEET NO.: 17 OF 31			

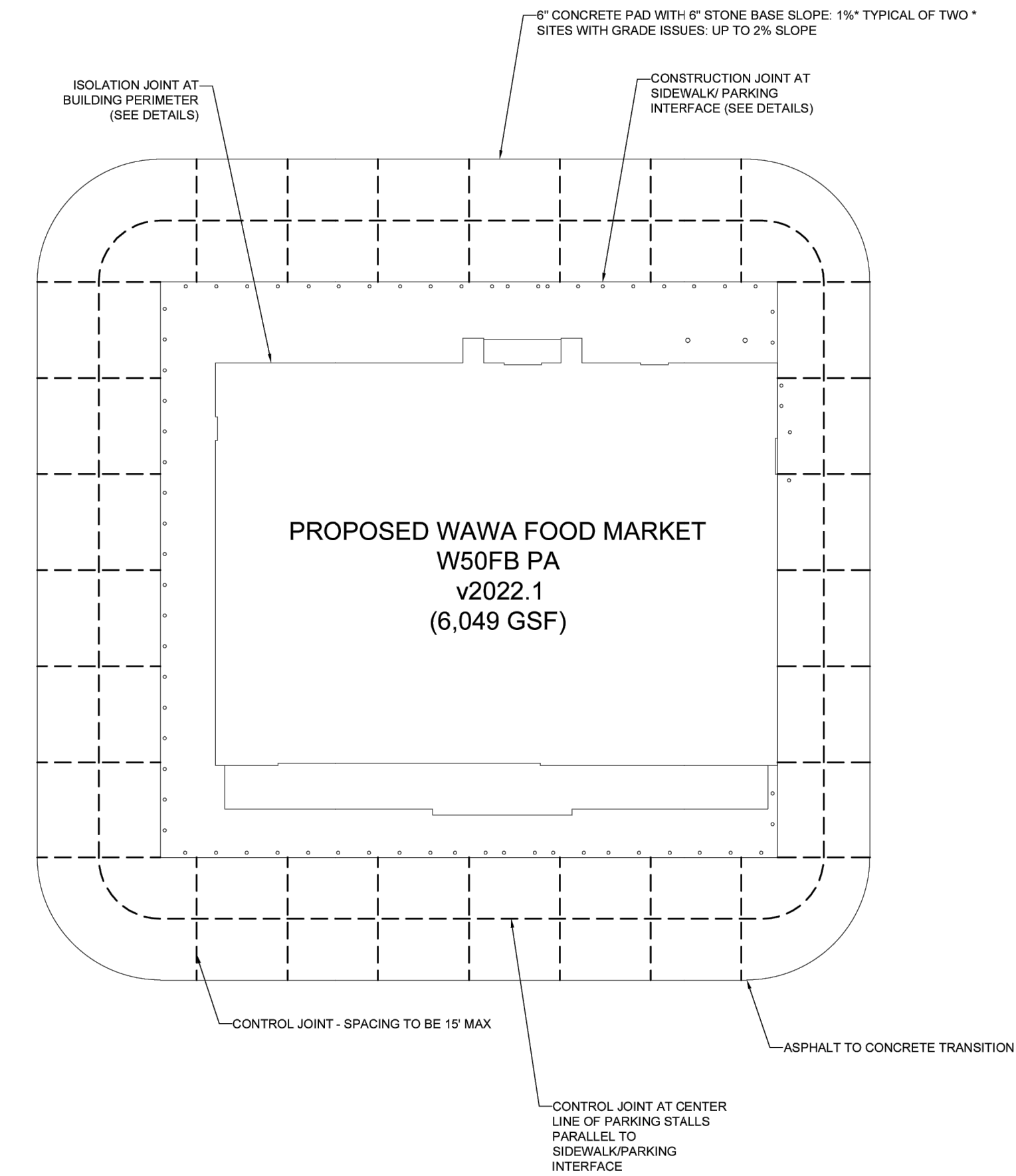
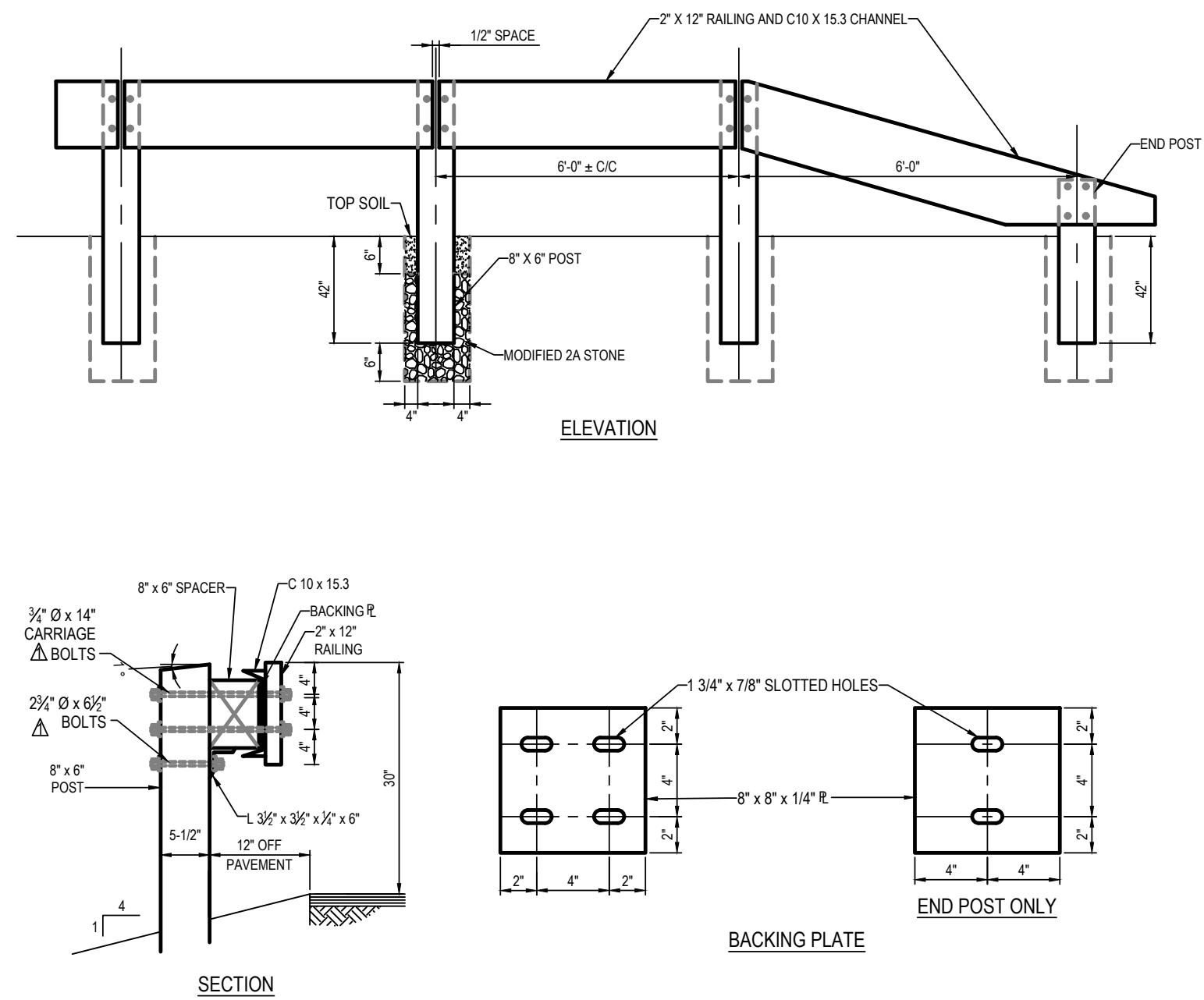


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WAWA

WOODEN GUIDE RAIL DETAIL

NOT TO SCALE



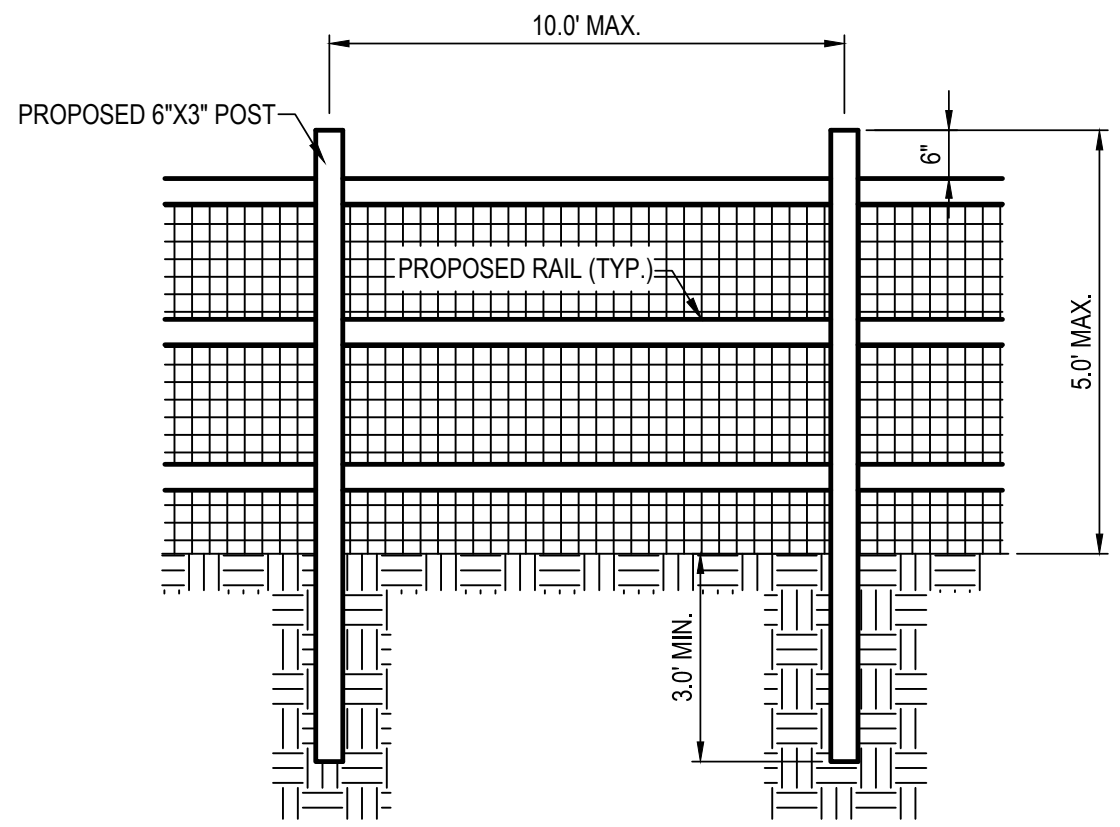
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W50FB PA

NOT TO SCALE

WAWA

POST & RAIL FENCE DETAIL

NOT TO SCALE

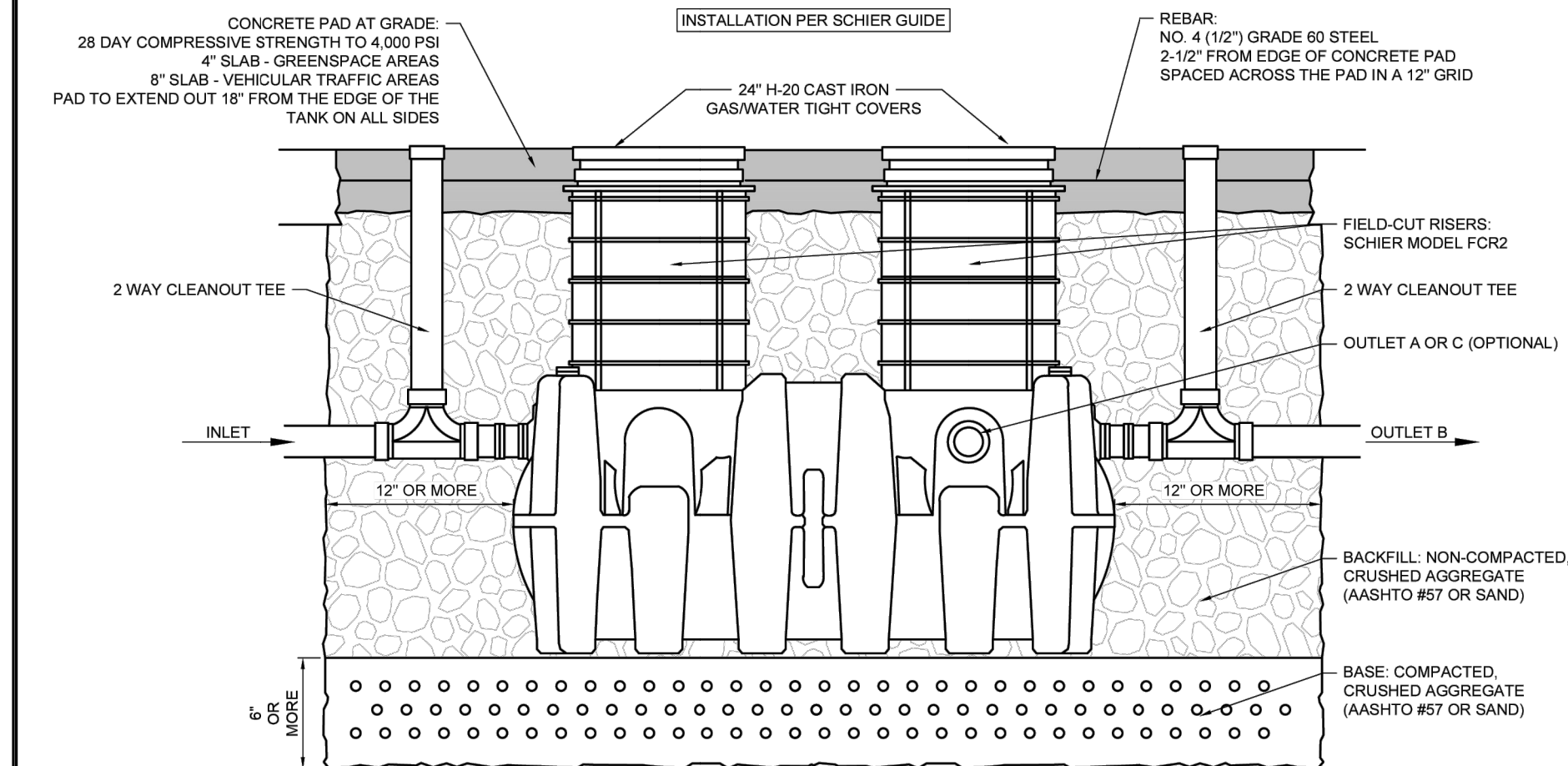
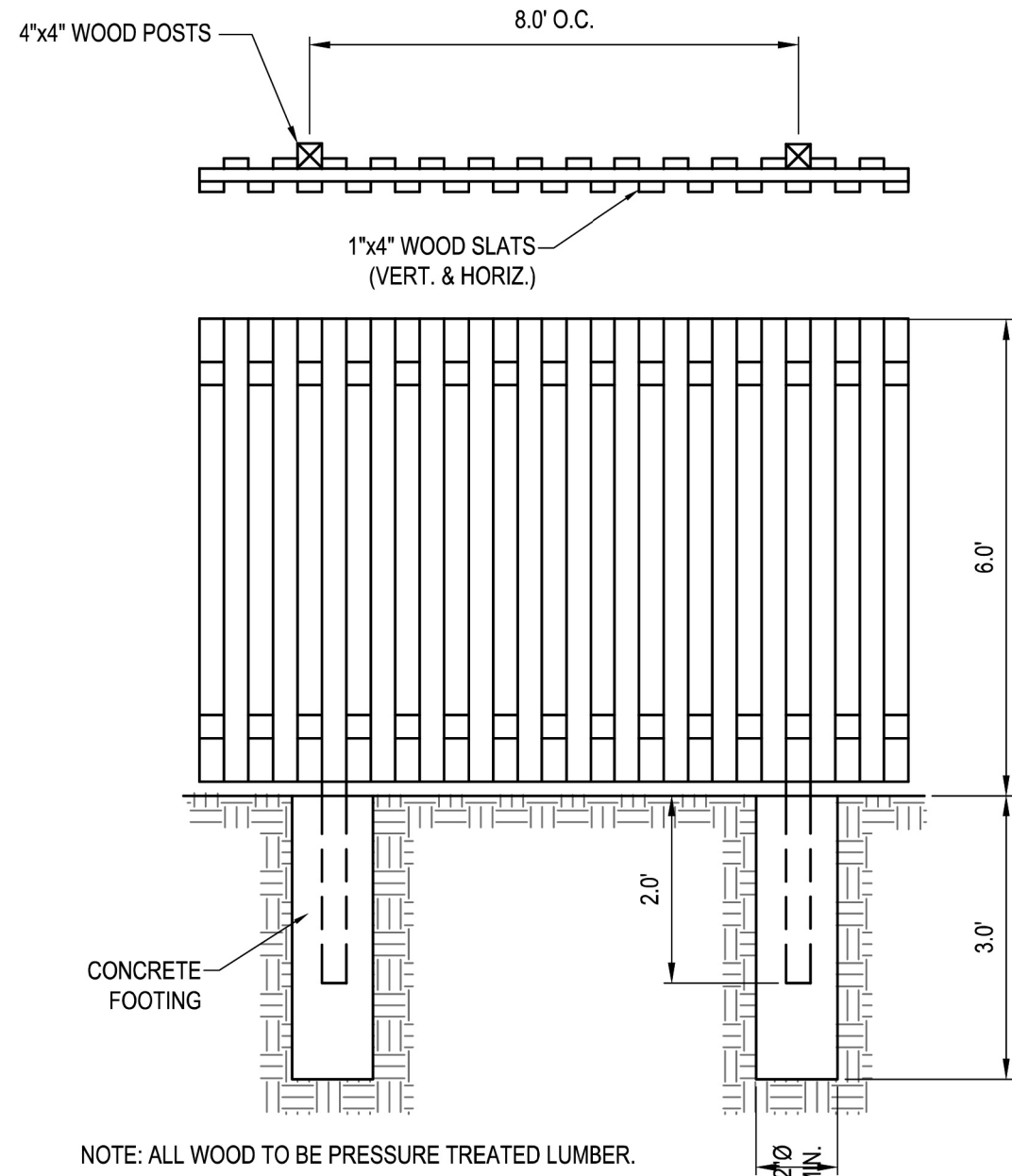


- NOTES:
- ALL WOOD TO BE PRESSURE TREATED LUMBER, GALVANIZED WIRE MESH FENCE (13 GAGE) WITH VINYL COATING TO BE SECURED TO OUTSIDE OF FENCE

WAWA

BOARD ON BOARD FENCE DETAIL

NOT TO SCALE



SCHIER GB-250 GREASE INTERCEPTOR 100/200 GPM, 277 GAL
1,895 | 1,196 LBS GREASE CAPACITY DETAIL

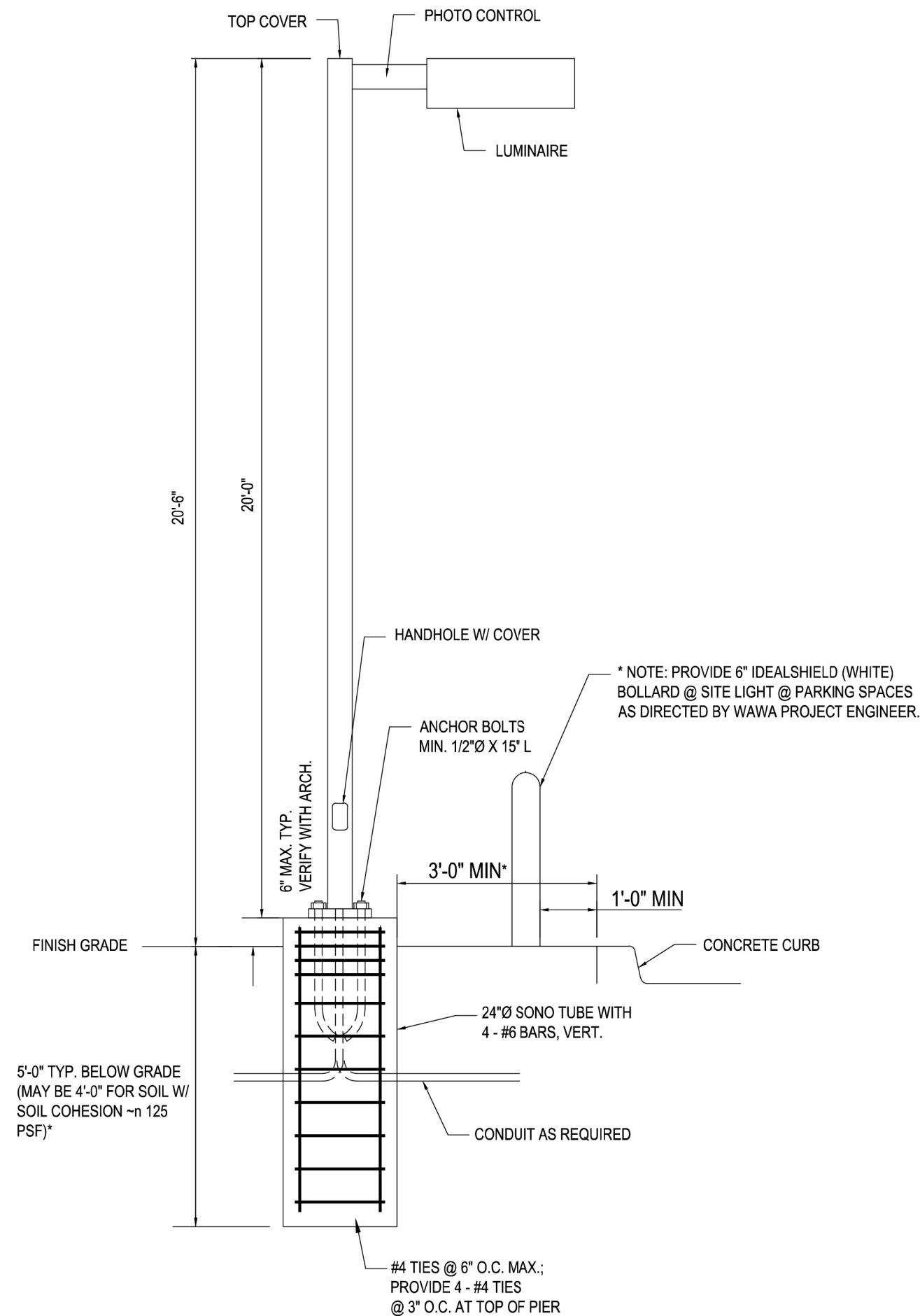
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NOT TO SCALE

IW-1

LIGHT POLE WITH STANDARD ANCHORING DETAIL

NOT TO SCALE



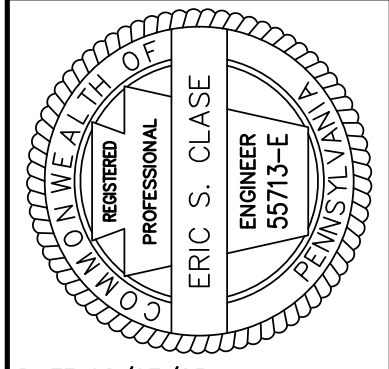
NOTE: THIS DETAIL IS NOT CERTIFIED. FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO PROVIDE SHOP DRAWINGS CERTIFIED BY STRUCTURAL ENGINEER.

REV.	DATE	BY	DESCRIPTION
4	08/07/25	LEH	PER RETIEW LTR. DATED 08/09/25
3	08/30/25	LEH	PER CCOD LTR. DATED 05/27/25
2	05/23/25	LEH	PER RETIEW LTR. DATED 05/13/25
1	05/07/25	J.P	PER UTILITY COORDINATION

PRELIMINARY-FINAL LAND DEVELOPMENT
920 CENTURY DRIVE WAWA
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA
WAWA CONSTRUCTION DETAILS 3

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
PROJECT No.: 2308023
WAWA STORE NO. 8256
OWNERS INFO:
PROVCO PINEGOOD CENTURY, LLC
705 EAST LANCASTER AVE.
SUITE 200
VILLANOVA, PA 19085
610-520-4572
MUNICIPAL FILE No.: 2025-03
TAX MAP PARCEL No.: 13-24-0795-173
TOTAL AREA: 2.35 AC.
TOTAL LOTS: 1
DATE: 04/21/2025
SCALE: N.T.S.
DRAWN BY: LEH
CHECKED BY: ESC
SHEET NO.: 21 OF 31

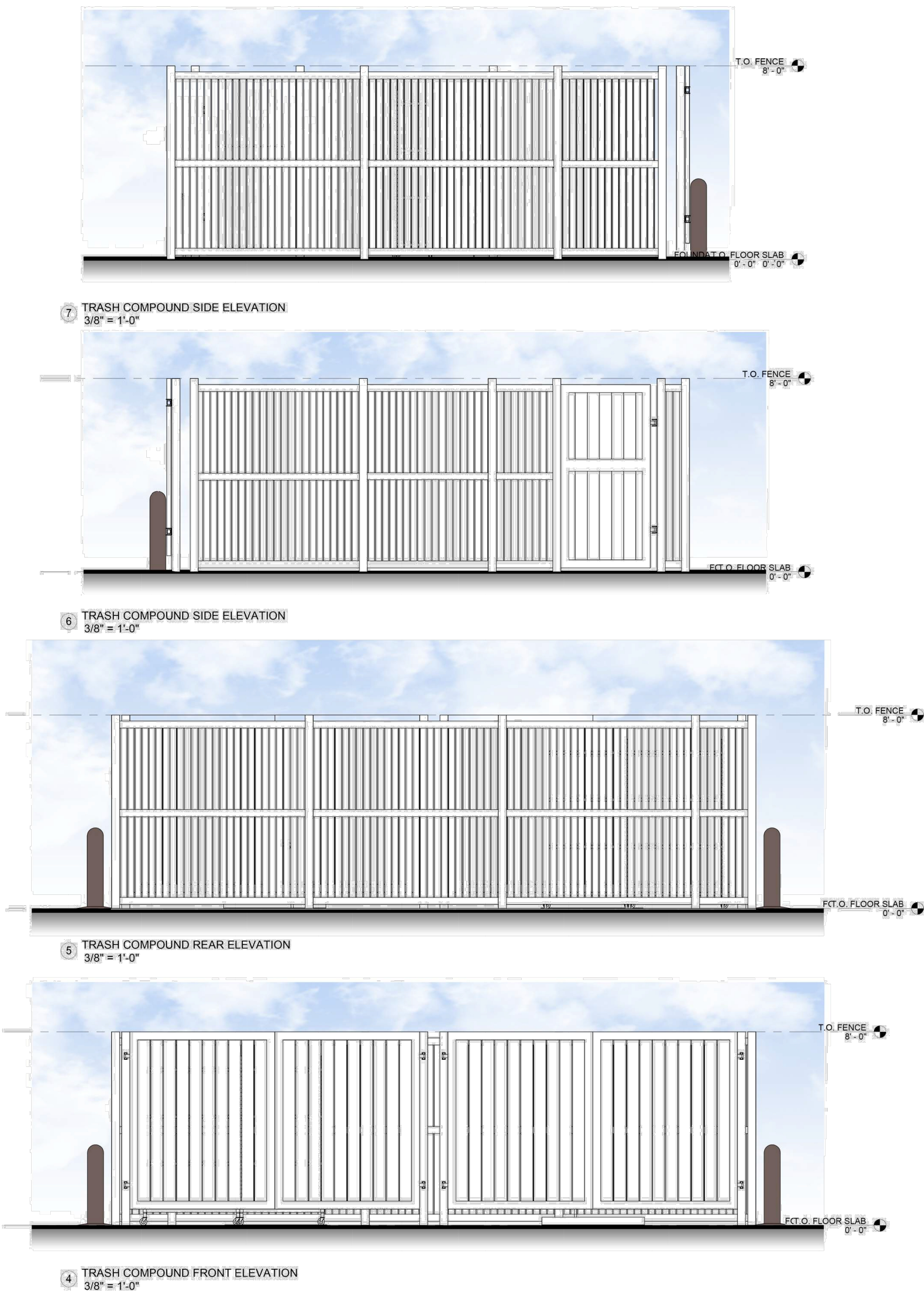
GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
66 EAST BUTLER AVENUE, SUITE 100 NEWPORT NEWS, VA 23607 • 757-251-3454-4339 • www.gilmore-associ.com
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DATE: 08/07/25

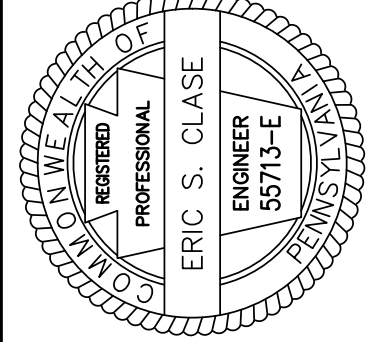
NOT APPROVED FOR CONSTRUCTION

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TRASH ENCLOSURE DETAILS

**GILMORE & ASSOCIATES, INC.**
ENGINEERING & CONSULTING SERVICES
66 EAST BATTLE AVENUE, SUITE 100, NEWPORT, PA 19081 • 215-345-4330 • www.gilmore-associates.com



DATE: 08/07/25


REV.	DESCRIPTION	DATE	BY
4	PER RETIEW LTR. DATED 06/09/25	08/07/25	LEH
3	PER COCD LTR. DATED 05/27/25	08/30/25	LEH
2	PER RETIEW LTR. DATED 05/13/25	05/23/25	LEH
1	PER UTILITY COORDINATION	05/07/25	JP

PRELIMINARY—FINAL LAND DEVELOPMENT

920 CENTURY DRIVE WAWA

LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

WAWA CONSTRUCTION DETAILS 4

**GILMORE & ASSOCIATES, INC.**
ENGINEERING & CONSULTING SERVICES

PROJECT No.:
2308023

WAWA STORE NO. 8256

OWNERS INFO:
PROVCO PINEGOOD CENTURY, LLC
705 EAST LANCASTER AVE.
SUITE 200
VILLANOVA, PA 19085
610-520-04572

MUNICIPAL FILE No.:
2025-03

TAX MAP PARCEL No.:
13-24-0795-173

TOTAL AREA:
2.35 AC.

TOTAL LOTS:
1

DATE:
04/21/2025

SCALE:
N.T.S.

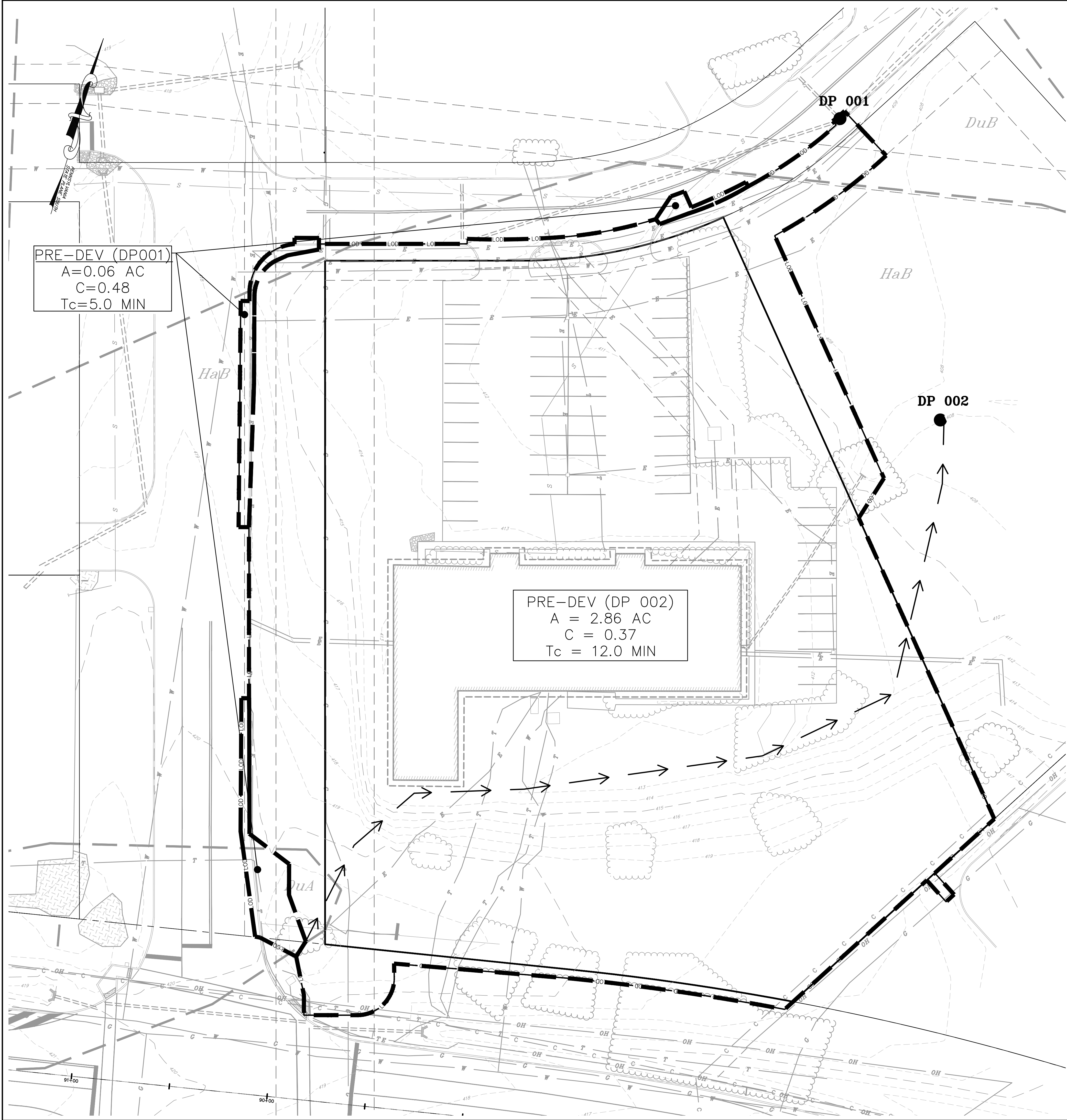
DRAWN BY:
LEH

CHECKED BY:
ESC

SHEET NO.:
22 OF 31

NOT APPROVED FOR CONSTRUCTION

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LOCATION MAP
SCALE: 1"=1000'

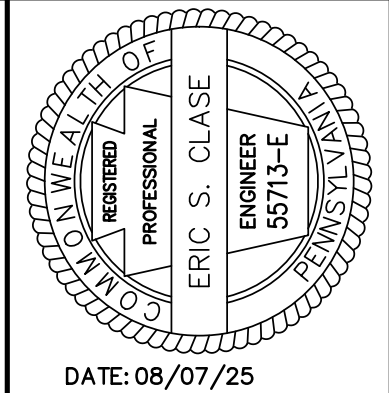
LEGEND:
CENTERLINE ROAD
RIGHT-OF-WAY LINE
EASEMENT LINE
EXISTING EDGE OF PAVEMENT
EXISTING CURB
PRE-DEV DRAINAGE AREA BOUNDARY
PRE-DEV TIME OF CONCENTRATION

SOILS LEGEND AND TABLE OF LIMITATIONS & RESOLUTIONS BASED ON USDA-NRCS WEB SOIL SURVEY OF CUMBERLAND COUNTY									
SYMBOL	MAPPING UNITS	SLOPE	LAND CAPBLTY	HYDRIC SOIL	HYDRO. GROUP	DEPTH TO		LIMITATIONS FOR CONSTRUCTION	RESOLUTION OF LIMITATIONS
<i>DuA</i>	DUFFIELD SILT LOAM	0-3%	1	YES	B	60-80"	> 5'	NOT LIMITED	
<i>DuB</i>	DUFFIELD SILT LOAM	3-8%	2e	YES	B	60-80"	> 5'	NOT LIMITED	
<i>HaB</i>	HAGERSTOWN SILT LOAM	3-8%	2e	YES	B	43-98"	> 5'	SOMEWHAT LIMITED: SHRINK-SWELL POTENTIAL	COMPACTION AS PER PLAN SPECIFICATION

*SEE E&S NOTES SHEET 2 FOR SOILS LIMITATIONS AND RESOLUTION TABLES

SCALE: 1"=25'

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
66 EAST BATTLE AVENUE, SUITE 100, NEW BRITAIN, CT 06053 • 203.345.4330 • www.gilmoreassoc.com
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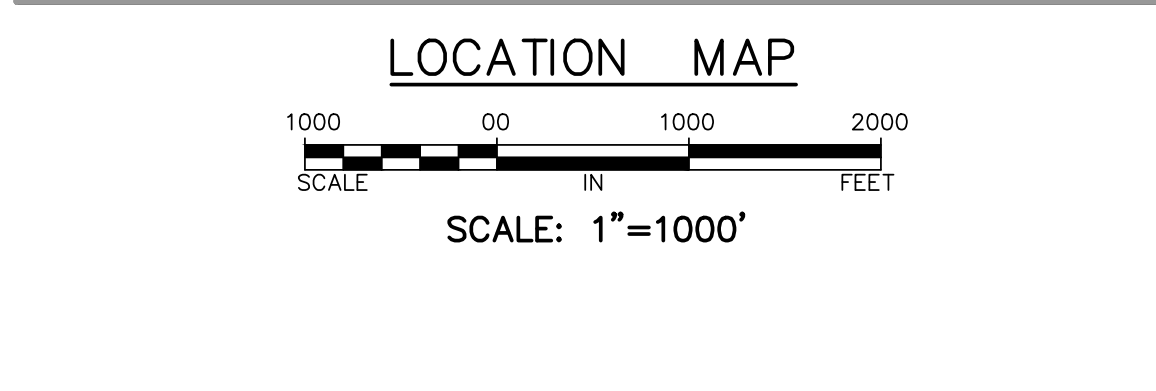


DATE: 08/07/25

REV.	DESCRIPTION	DATE	BY
4	PER RETIEW LTR. DATED 08/09/25	08/07/25	LEH
3	PER COCD LTR. DATED 05/27/25	08/30/25	LEH
2	PER RETIEW LTR. DATED 05/13/25	05/23/25	LEH
1	PER UTILITY COORDINATION	05/07/25	JP

PRELIMINARY-FINAL LAND DEVELOPMENT
920 CENTURY DRIVE WAWA
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA
PRE-DEVELOPMENT DRAINAGE AREA PLAN

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
PROJECT NO.: 2308023
WAWA STORE NO. 8256
OWNERS INFO: PROVCO PINEGOOD CENTURY, LLC
705 EAST LANCASTER AVE.
SUITE 200
VILLANOVA, PA 19085
610-520-4572
MUNICIPAL FILE No.: 2025-03
TAX MAP PARCEL No.: 13-24-0795-173
TOTAL AREA: 2.35 AC. TOTAL LOTS: 1
DATE: 04/21/2025 SCALE: 1"=25'
DRAWN BY: LEH CHECKED BY: ESC
SHEET NO.: 23 OF 28



LEGEND:

	CENTERLINE ROAD
	RIGHT-OF-WAY LINE
	EASEMENT LINE
	EXISTING EDGE OF PAVEMENT
	PROPOSED CURB
	INLET DRAINAGE AREA BOUNDARY



ERIC S. CLASE
ENGINEER
05713-E

DATE: 08/07/25



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

66 EAST BUTLER AVENUE, SUITE 100 NEW BRITAIN, PA 19071 • 412.934-4204 • www.gilmore-associ.com

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4	PER RETIEW LTR. DATED 06/09/25	LEH	08/07/25
3	PER CCOD LTR. DATED 05/27/25	LEH	06/30/25
2	PER RETIEW LTR. DATED 05/13/25	LEH	05/23/25
1	PER UTILITY COORDINATION	JP	05/07/25
REV.	DESCRIPTION	DATE	BY

PRELIMINARY--FINAL LAND DEVELOPMENT

920 CENTURY DRIVE WAWA

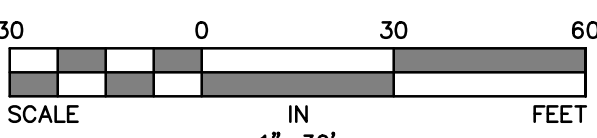
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

POST DEVELOPMENT DRAINAGE AREA PLAN

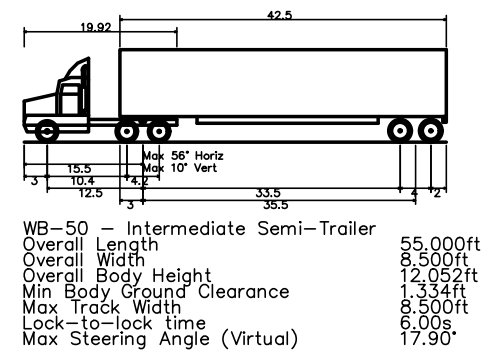
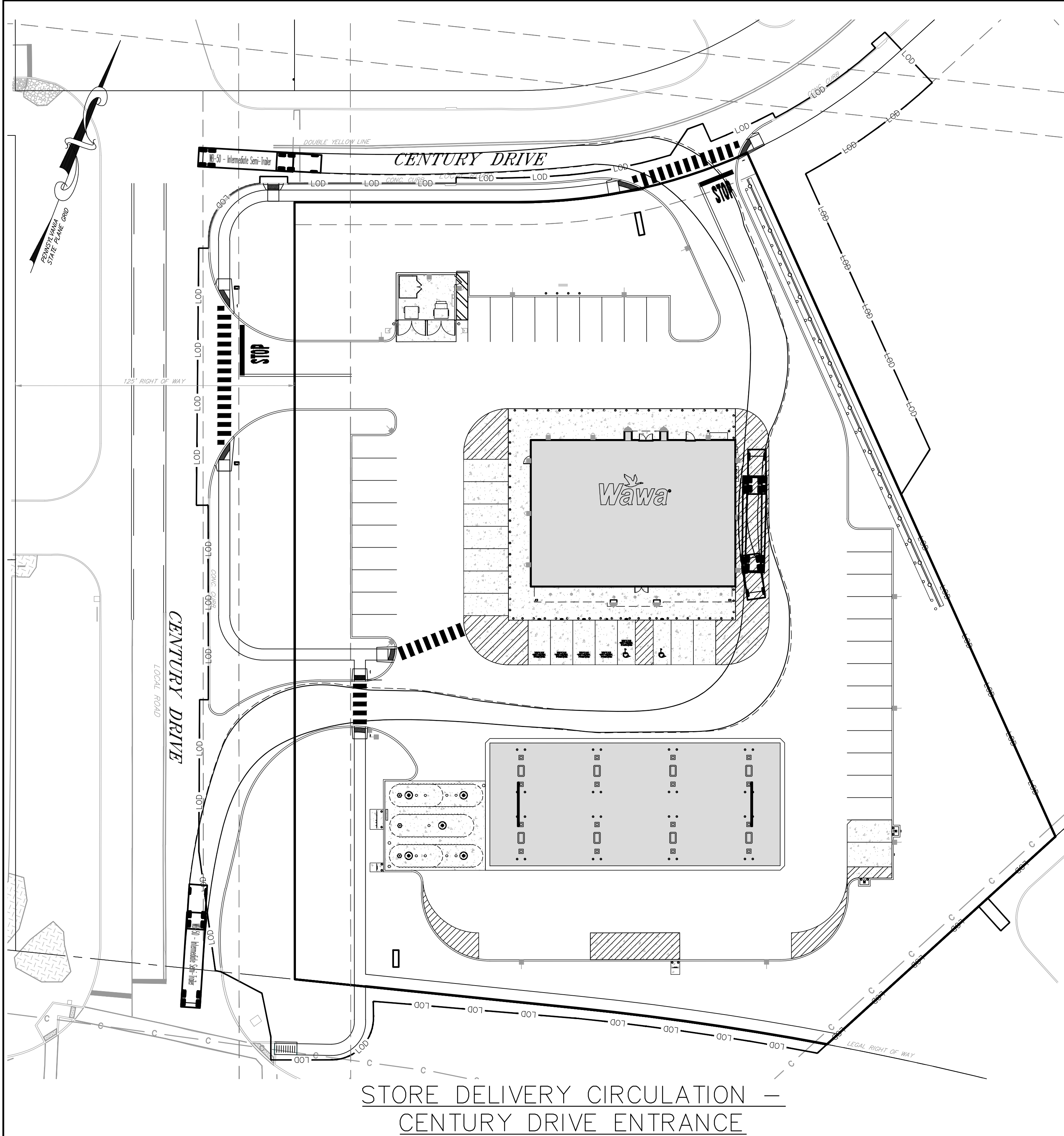
	
GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES	
PROJECT NO.: 2308023	
WAWA STORE NO. 8256	
OWNERS INFO:	
PROVINC PINEGOLD CENTURY, LLC	
795 EAST LANCASTER AVE.	
SUITE 200	
WILLOWDALE, PA 19085	
610-520-4572	
MUNICIPAL FILE No.:	
0296-03	
ZONING MAP PARCEL NO.:	
13-24-0795-173	
TOTAL AREA:	TOTAL LOTS:
2.35 AC.	1
DATE:	SCALE:
04/21/2025	1"=30'
DRAWN BY:	CHECKED BY:
LEH	ESC
SHEET NO.:	
24 OF 31	

SOILS LEGEND AND TABLE OF LIMITATIONS & RESOLUTIONS BASED ON USDA–NRCS WEB SOIL SURVEY OF CUMBERLAND COUNTY									
SYMBOL	MAPPING UNITS	SLOPE	LAND CAPBLTY	HYDRIC SOIL	HYDRO GROUP	DEPTH TO		LIMITATIONS FOR CONSTRUCTION	RESOLUTION OF LIMITATIONS
						BEDROCK	WATER TABLE		
<i>DuA</i>	DUFFIELD SILT LOAM	0–3%	1	YES	B	60–80"	> 5'	NOT LIMITED	
<i>DuB</i>	DUFFIELD SILT LOAM	3–8%	2e	YES	B	60–80"	> 5'	NOT LIMITED	
<i>HaB</i>	HAGERSTOWN SILT LOAM	3–8%	2e	YES	B	43–98"	> 5'	SOMEWHAT LIMITED: SHRINK–SWELL POTENTIAL	COMPACTION AS PER PLAN SPECIFICATION

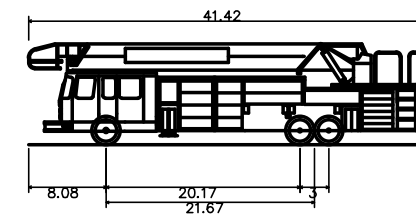
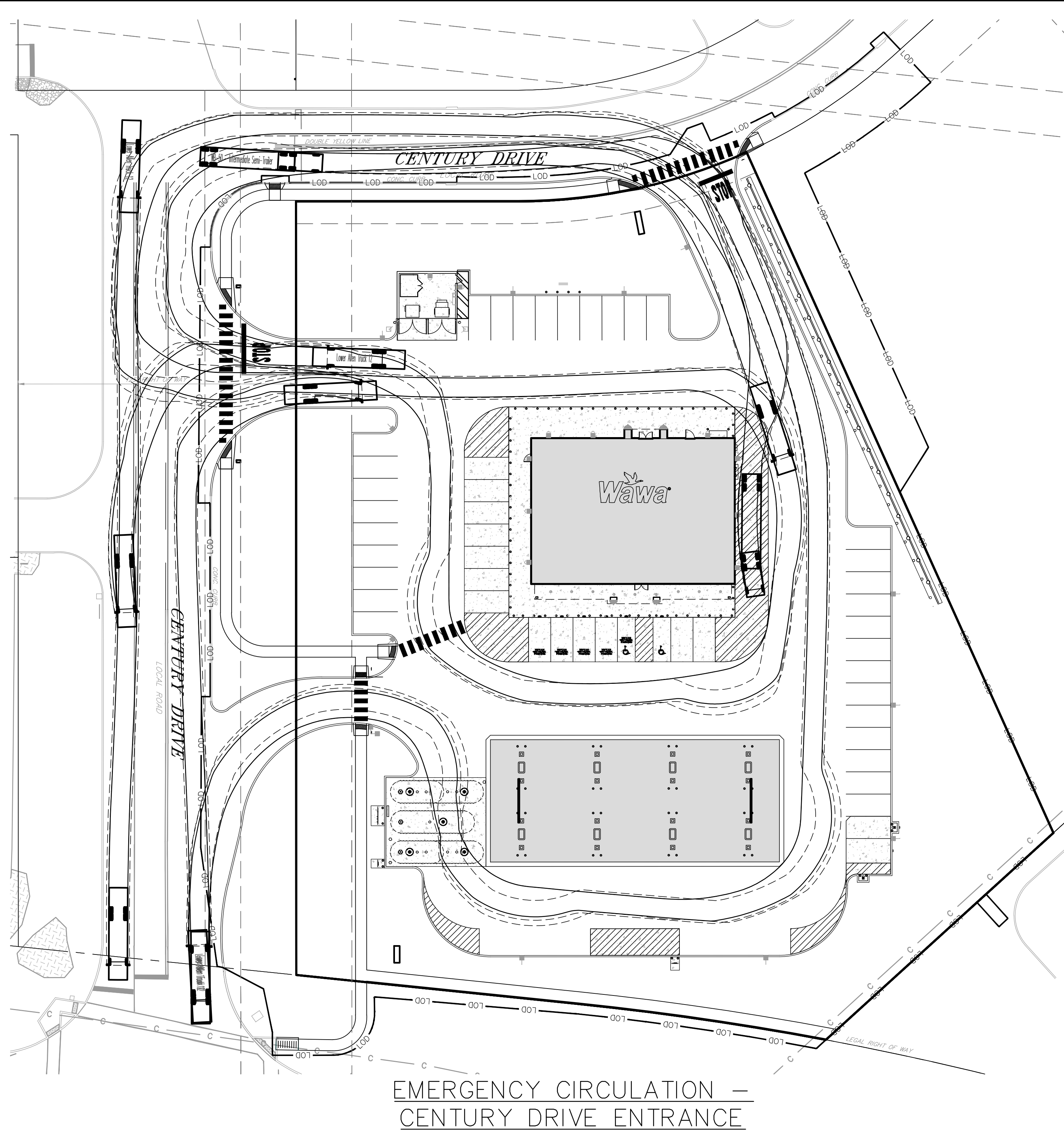
*SEE E&S NOTES SHEET 2 FOR SOILS LIMITATIONS AND RESOLUTION TABLES



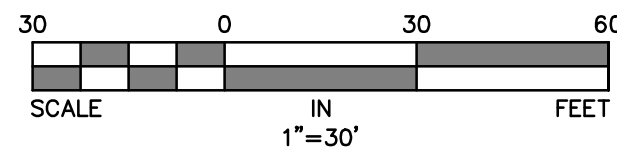
C:\Autodesk\Docs\Gilmore and Associates\230802308_PROVOCO_Wawa_920_Century_Dr_LD\Project_Files\2024\230802308_DESIGN\CAD\Prod\Draws\2308023-08_Truck_Turning.dwg Layout: Loading & Fire Turn Plotted By: Iheiss, on Thu Aug 07, 2025 at 1:30pm




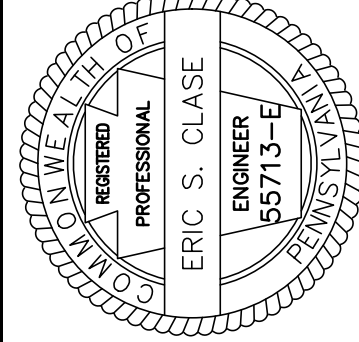
WB-50 - Intermediate Semi-Trailer	41.42
Overall Length	8.59
Overall Width	10.80
Overall Body Height	8.59
Min Body Ground Clearance	4.08
Track Width	17.90
Lock-to-Lock Time	
Max Steering Angle (Virtual)	



Lower Allen Truck 12	41.42
Overall Length	8.59
Overall Width	10.80
Overall Body Height	8.59
Min Body Ground Clearance	4.08
Track Width	17.90
Lock-to-Lock Time	
Curb to Curb Turning Radius	




**GILMORE & ASSOCIATES, INC.**
ENGINEERING & CONSULTING SERVICES
60 EAST BANTLER AVENUE, SUITE 100, NEWPORT NEWS, VA 23606 • TEL: 757-243-4330 • WWW.GILMORE-VA.COM



DATE: APRIL 21, 2025

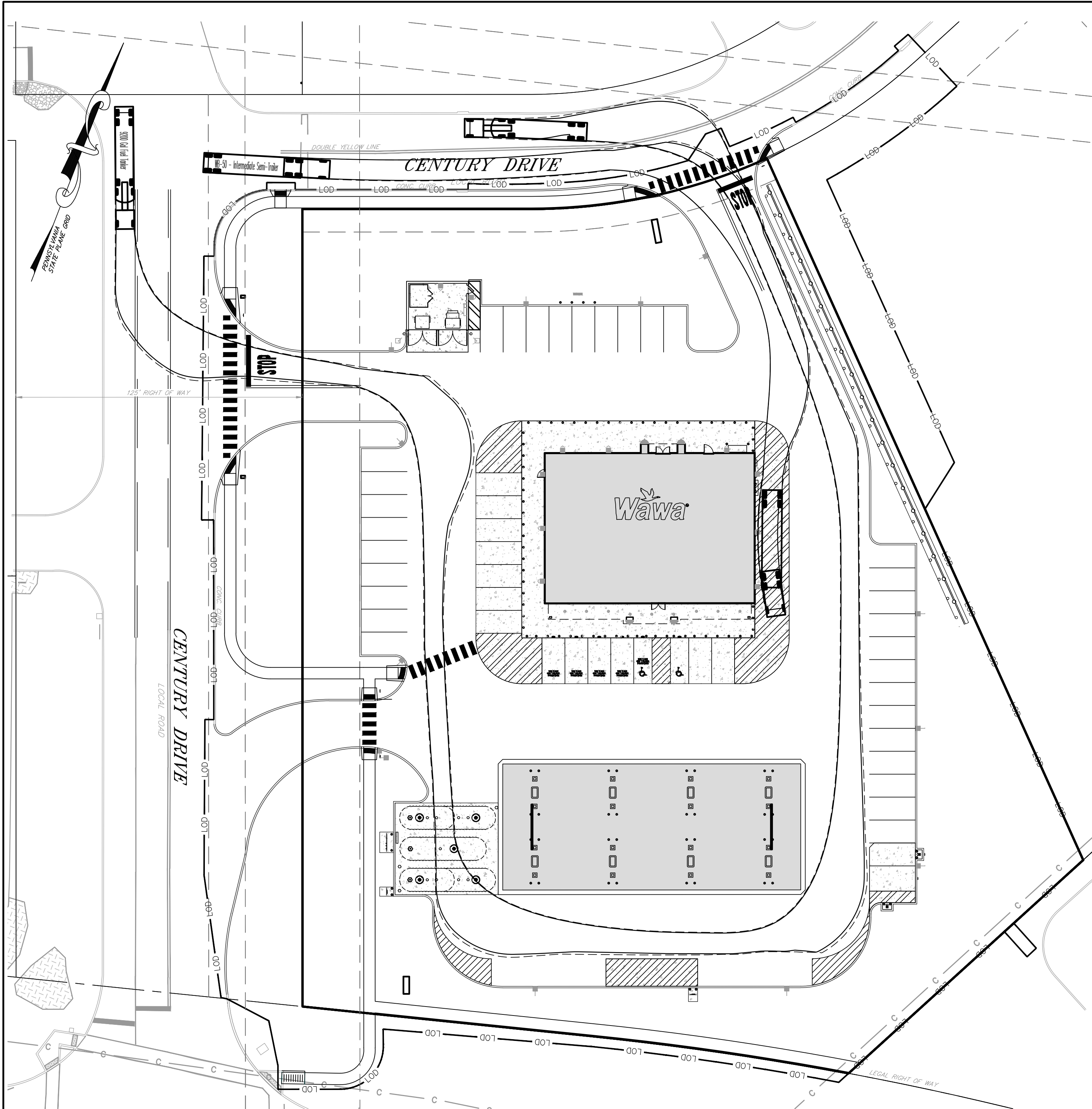
REV.	DESCRIPTION	DATE	BY
4	PER RETIEW LTR. DATED 08/09/25	08/07/25	LEH
3	PER COCD LTR. DATED 05/27/25	08/30/25	LEH
2	PER RETIEW LTR. DATED 05/13/25	05/23/25	LEH
1	PER UTILITY COORDINATION	05/07/25	JP

PRELIMINARY-FINAL LAND DEVELOPMENT
920 CENTURY DRIVE WAWA
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

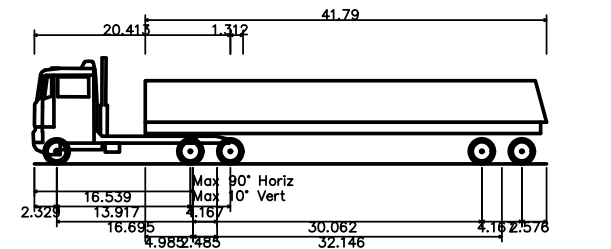
**GILMORE & ASSOCIATES, INC.**
ENGINEERING & CONSULTING SERVICES
PROJECT No.: 2408023
WAWA STORE NO. 8256
OWNERS INFO:
PROVOCO PINEGOOD CENTURY, LLC
705 EAST LANCASTER AVE.
SUITE 200
VILLANOVA, PA 19085
610-520-4572
MUNICIPAL FILE No.: ---
TAX MAP PARCEL No.: 13-24-0795-173
TOTAL AREA: 2.35 AC. TOTAL LOTS: 1
DATE: 04/21/2025 SCALE: 1"=30'
DRAWN BY: LEH CHECKED BY: ESC
SHEET NO.: 26 OF 31

NOT APPROVED FOR CONSTRUCTION

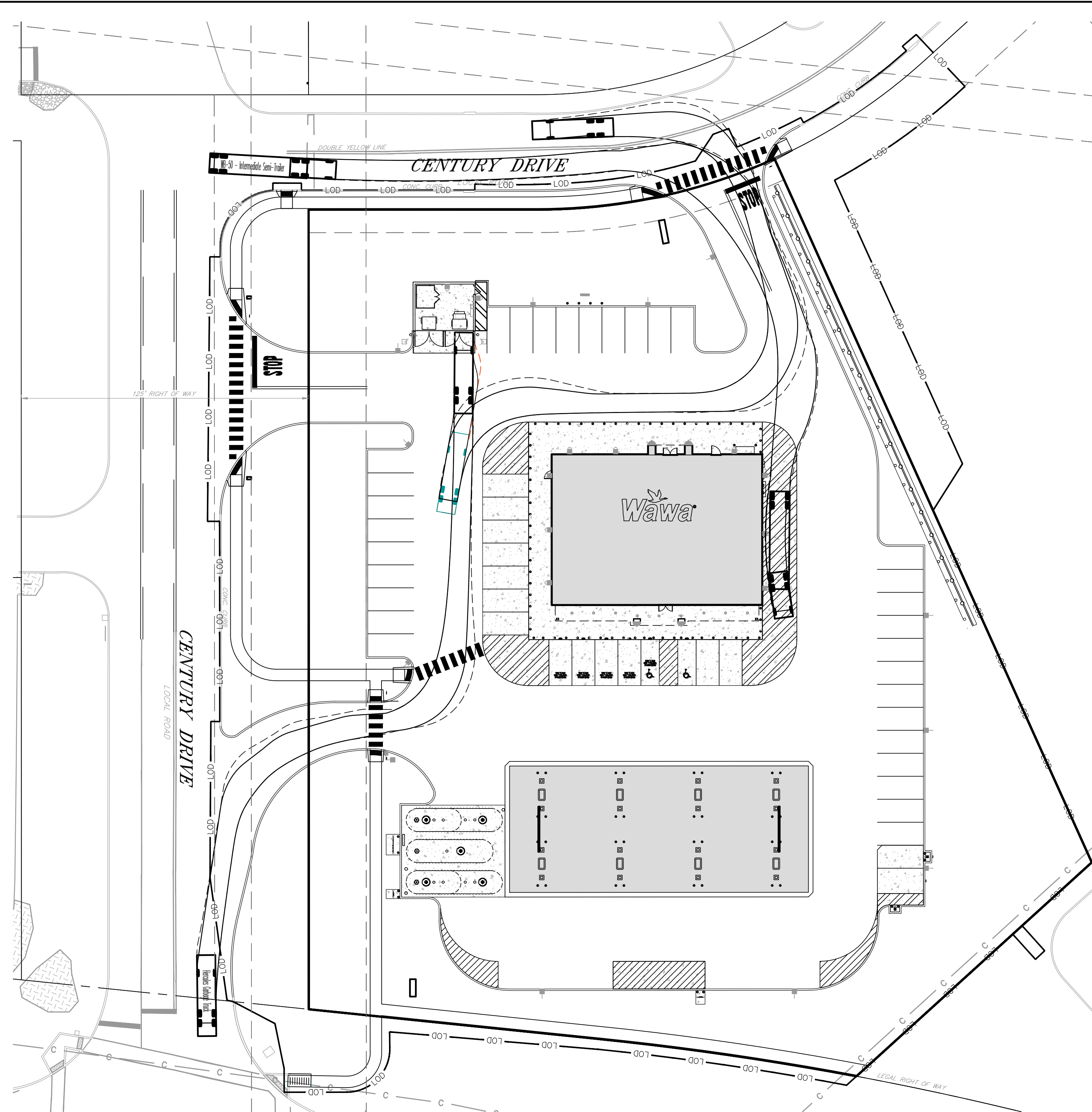
C:\Autodesk\Docs\Gilmore and Associates\230802308_PROVOCO_Wawa_920_Century_Dr_LD\Project_Files\2024\230802308_DESIGN\CAD\Prod\Draws\2308023-08_Truck_Turning.dwg Layout: Fuel & Garbage Turn Plotted By: Ihess, on Thu Aug 07, 2025 at 12:40pm



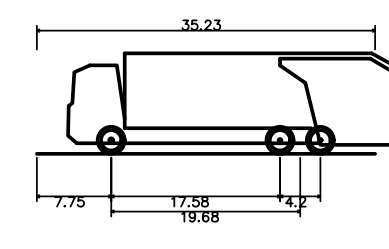
FUEL TRUCK CIRCULATION –
CENTURY DRIVE ENTRANCE



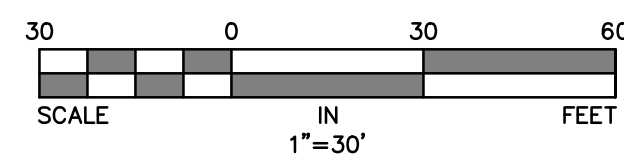
9200 Gal Fuel Tanker
Overall Length 53.344ft
Overall Width 8.000ft
Overall Body Height 11.05ft
Min Body Ground Clearance 0.96ft
Track Width 7.50ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 30.00°



GARBAGE CIRCULATION –
CENTURY DRIVE ENTRANCE



Hercules Garbage Truck
Overall Length 35.23ft
Overall Width 8.00ft
Overall Body Height 10.48ft
Min Body Ground Clearance 0.93ft
Track Width 8.00ft
Lock-to-lock time 6.00s
Max Wheel Angle 33.90°



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
66 EAST BANTLER AVENUE, SUITE 100, NEWPORT NEWS, VA 23606 • 757-243-4330 • www.gilmore-va.com

ERIC S. CLASE
REGISTERED PROFESSIONAL ENGINEER
55713-E
PENNSYLVANIA

DATE: APRIL 21, 2025

REV.	DESCRIPTION	DATE	BY
4	PER RETIEW LTR. DATED 06/09/25	06/07/25	LEH
3	PER CDD LTR. DATED 05/27/25	06/30/25	LEH
2	PER RETIEW LTR. DATED 05/13/25	05/23/25	LEH
1	PER UTILITY COORDINATION	05/07/25	JP

PRELIMINARY-FINAL LAND DEVELOPMENT
920 CENTURY DRIVE WAWA
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
PROJECT No.: 2408023
WAWA STORE NO. 8256
OWNERS INFO:
PROVOCO PINEWOOD CENTURY, LLC
795 EAST LANCASTER AVE., STE 200
VILLANOVA, PA 19085
610-520-4572

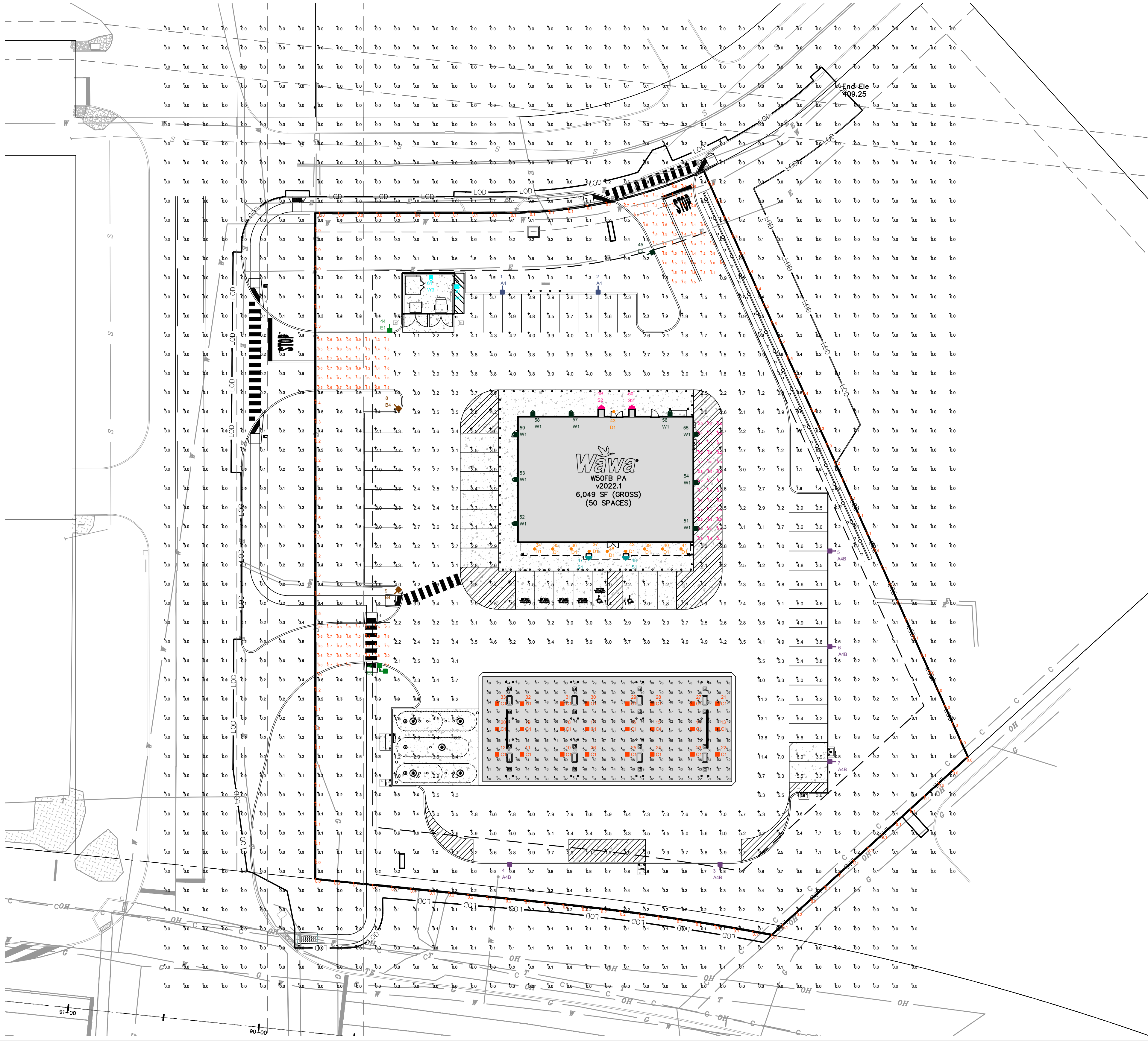
MUNICIPAL FILE No.: ---
TAX MAP PARCEL No.: 13-24-0795-173
TOTAL AREA: 2.35 AC.
DATE: 04/21/2025
DRAWN BY: LEH
SHEET NO.: 27 OF 31

TOTAL LOTS: 1
SCALE: 1"=30'
CHECKED BY: ESC

FUEL & GARBAGE TURN

NOT APPROVED FOR CONSTRUCTION

C:\Autodesk\Docs\Gillmore and Associates\230802308_PROVOCO_Wawa_920_Century_Dr_LD\Project_Files\2024\230802308_DESIGN\CAD\Scenes\Plans\230802308_Lighting_dwg.dwg Layout: Lighting_dwg.dwg Plotted By: Iness, on Thu Aug 07, 2025 at 12:41pm



LUMINAIRE SCHEDULE											
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	DIMMING LUMEN MULTIPLIER	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	4	A4	SINGLE	15141	1.030	0.610	B2-U0-G3	73.98	295.92	Lithonia Lighting	DSX0LED-P6-50K-70CRI-T3M-MVOLT-FAO-HS-XX (SW. POS 4)
	5	A4B	SINGLE	12704	1.030	0.730	B0-U0-G3	90.42	452.1	Lithonia Lighting	DSX0LED-P6-50K-70CRI-BLC3-MVOLT-FAO-XX (SW. POS 5)
	2	B3	2 @ 90 degrees	17728	1.030	0.730	B3-U0-G5	90.42	361.68	Lithonia Lighting	DSX0LED-P6-50K-70CRI-T4M-MVOLT-FAO-XX (SW. POS 5)
	24	C1	SINGLE	18789	1.030	1.000	B4-U0-G1	106.9304	2566.33	Lithonia Lighting	RCNYLED-ALO2-50K-80CRI-SYMC-MVOLT-BZS-XX (SW. POS. 6)
	10	D1	Single	1939	1.000	1.000	B2-U0-G0	19.7	197	Gotham Architectural Lighting	EV06 35/20 AR LSS WD MVOLT GZ10
	2	E1	SINGLE	14982	1.030	0.200	B2-U0-G3	20.55	41.1	Lithonia Lighting	DSX0LED-P6-50K-70CRI-T2M-MVOLT-FAO-HS-XX (SW. POS 1)
	1	E2	SINGLE	14982	1.030	0.360	B2-U0-G3	39.73	39.73	Lithonia Lighting	DSX0LED-P6-50K-70CRI-T2M-MVOLT-FAO-HS-XX (SW. POS 2)
	2	S1	SINGLE	2659	1.000	1.000	B0-U5-G2	20	40	FC/SSL Lighting	FCWS7170-XXX-35K-2500-CRI85-XX-D
	2	S2	SINGLE	2542	1.000	1.000	B0-U4-G2	20	40	FC/SSL Lighting	FCWS7168-XXX-35K-2500-CRI85-XX-D
	9	W1	SINGLE	4285	1.020	1.000	B1-U0-G2	28.68	258.12	Lithonia Lighting	DSXW1LED-P4-50K-70CRI-T4M-MVOLT-XX
	2	W3	SINGLE	1994	1.020	1.000	B0-U0-G1	14.58	29.16	Lithonia Lighting	DSXW1LED-P2-50K-70CRI-T3M-MVOLT-HS-XX

- NOTES:
- ALL AREA LIGHTS ON 20 FT. POLES MOUNTED ON 6 IN. CONCRETE BASES
 - FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES UNLESS NOTED OTHERWISE

CALCULATION SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	49.84	79	18	2.77	4.39
DELIVERY AREA	3.57	4.3	2.5	1.43	1.72
ENTRANCE & EXIT DRIVES	1.43	3.8	0.6	2.38	6.33
PARKING & INTERIOR DRIVE AISLES	4.24	13.8	0.8	5.30	17.25
PROPERTY LINE	0.19	0.5	0.0	N.A.	N.A.
UNDEFINED	0.06	4.9	0.0	N.A.	N.A.

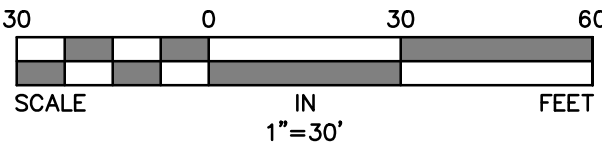
THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A4	20.5
2	A4	20.5
3	A4	20.5
4	A4	20.5
5	A4B	20.5
6	A4B	20.5
7	A4B	20.5
8	A4B	20.5
9	A4B	20.5
10	B3	20.5
11	B3	20.5
12	C1	17.11
13	C1	17.11
14	C1	17.11
15	C1	19.32
16	C1	19.32
17	C1	19.32
18	C1	19.32
19	C1	19.32
20	C1	19.32
21	C1	19.32
22	C1	19.32
23	C1	21.53
24	C1	17.11
25	C1	17.11
26	C1	17.11
27	C1	17.11
28	C1	17.11
29	C1	21.53
30	C1	21.53
31	C1	21.53

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
32	C1	21.53
33	C1	21.53
34	C1	21.53
35	C1	21.53
36	D1	9
37	D1	9
38	D1	9
39	D1	9
40	D1	9
41	D1	9
42	D1	9
43	D1	9
44	D1	9
45	D1	9
46	E1	20.5
47	E1	20.5
48	E2	20.5
49	S1	9
50	S1	9
51	S2	8.5
52	S2	8.5
53	W1	15
54	W1	15
55	W1	15
56	W1	15
57	W1	15
58	W1	15
59	W1	15
60	W1	15
61	W1	15
62	W3	8
63	W3	8

ALL LIGHTING HAS BEEN PREPARED BY RED LEONARD ASSOCIATES.

1340 KEMPER MEADOW DR.
FOREST PARK, OH 45240
513-574-9500
REDLEONARD.COM



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
66 EAST BENTLEY AVENUE, SUITE 100, NEWPORT, PA 15067 • P: 724-345-4330 • www.gillmore-associates.com

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PROFESSIONAL ENGINEER
ERIC S. CLASE
56713-E
PENNSYLVANIA

DATE	BY	REVISION
08/07/25	LEH	1
08/30/25	LEH	2
05/23/25	LEH	3
05/07/25	LEH	4

PRELIMINARY-FINAL LAND DEVELOPMENT
920 CENTURY DRIVE WAWA
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

LIGHTING PLAN

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT No.: 2308023

OWNERS INFO:
PROVOCO PINEGOOD CENTURY, LLC
705 EAST LANCASTER AVE.
SUITE 200
VILLANOVA, PA 19085
610-520-04572

MUNICIPAL FILE No.: 2025-03

TAX MAP PARCEL No.: 13-24-0795-173


TOTAL AREA: 2.35 AC. TOTAL LOTS: 1

DATE: 04/21/2025 SCALE: 1"=30'


DRAWN BY: LEH CHECKED BY: ESC

SHEET NO.: 28 OF 31

NOT APPROVED FOR CONSTRUCTION

AREA	QTY	LABEL	DESCRIPTION
	4	A4	DSXOLED-P6-50K-70CRI-T3M-MVOLT-FAO-HS-XX (SW. POS. 4)
	5	A4B	DSXOLED-P6-50K-70CRI-BLC3-MVOLT-FAO-XX (SW. POS. 5)
	2	B3	DSXOLED-P6-50K-70CRI-T4M-MVOLT-FAO-XX (SW. POS. 5)
	2	E1	DSXOLED-P6-50K-70CRI-T2M-MVOLT-FAO-HS-XX (SW. POS. 1)
	1	E2	DSXOLED-P6-50K-70CRI-T2M-MVOLT-FAO-HS-XX (SW. POS. 2)

ADDITIONAL FIXTURE INFO



D-Series Size 0 LED Area Luminaire

Specifications

EPH: 5.64 ft
Length: 36.1 in
Width: 18.1 in
Height: 2.3 in
Height H1: 2.3 in
Height H2: 2.3 in
Weight: 22 lbs (10 kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series technology offers a high performance, high efficacy, long life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02

Area	LED	Color Temperature	Color Rendering Index	Mounting	Finish	Options
DSXO LED	DSXO LED	40K	70CRI	T3M	MVOLT	SPA N1A2R12 PH1M DBX02

CANOPY	QTY	LABEL	DESCRIPTION
	24	C1	RCNYLED-AL02-50K-80CRI-SYMC-MVOLT-BZS-XX (SW. POS. 6)

ADDITIONAL FIXTURE INFO



RCNY LED Recessed LED Canopy/Ceiling Luminaire

Specifications

Width: 11.5"
Height: 5.9"
Length: 11.5"
Weight: 14 lbs

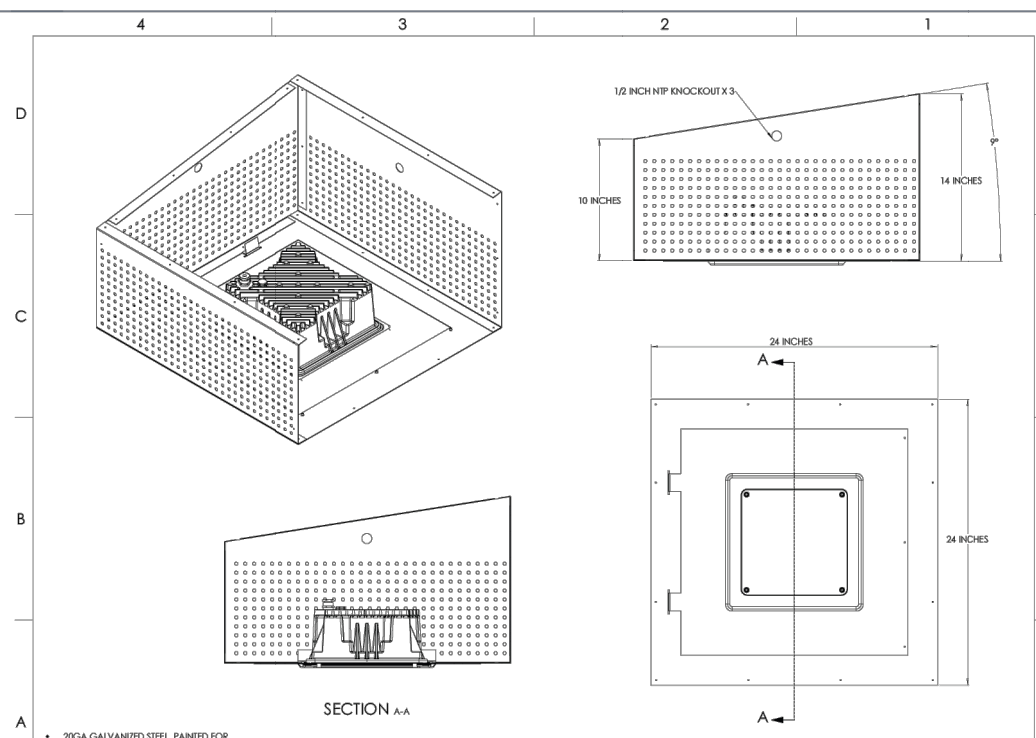
Introduction

The RCNY LED recessed luminaire is designed to provide exceptional energy savings and versatility in one fixture. With a compact design the RCNY provides superior illumination while blending into the canopy space seamlessly. The RCNY is unique in that as a recessed canopy it can be installed in both 12" and 16" canopy decks. Features such as Adjustable Lumen Output Dial with 8 Settings and forward throw distribution (ASTC) option make the RCNY one of the most versatile gas station canopies in the market. Lumen dial and driver are both accessible from below. With up to 1700 W the RCNY LED delivers up to 90% in energy savings when replacing metal halide luminaires. With over 100,000 hour life expectancy (12+ years of 24/7 continuous operation), the RCNY LED luminaire provides significant maintenance savings over traditional luminaires. Class 1 Division 2 also available. Wet location junction box available upon request.

Ordering Information


EXAMPLE: RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00

Area	LED	Color Temperature	Color Rendering Index	Mounting	Finish	Options
RCNY LED	RCNY LED	50K	70CRI	SYMC	MVOLT	BZS DWX00



DOWNLIGHT	QTY	LABEL	DESCRIPTION
	10	D1	EV06 35/20 AR LSS WD MVOLT GZ10

ADDITIONAL FIXTURE INFO



General Illumination Round Downlight

Specifications

Weight: 9.25 lbs
Finish: Matte black, powder coated
Material: Die cast aluminum
Mounting: Direct mount, 1/2" hole spacing
Beam Spread: 35°
Cutout Size: 3.5" dia
Housing: 2.5" dia
Housing Material: Die cast aluminum
Housing Finish: Matte black, powder coated
Housing Weight: 9.25 lbs
Housing Dimensions: 3.5" dia x 2.5" dia x 2.5" dia

Introduction

The Gotham EVO 35/20 AR LSS WD MVOLT GZ10 is a high performance, high efficacy, long life luminaire. It is designed to provide superior illumination while blending into the canopy space seamlessly. The EVO is unique in that as a recessed canopy it can be installed in both 12" and 16" canopy decks. Features such as Adjustable Lumen Output Dial with 8 Settings and forward throw distribution (ASTC) option make the EVO one of the most versatile gas station canopies in the market. Lumen dial and driver are both accessible from below. With up to 1700 W the EVO LED delivers up to 90% in energy savings when replacing metal halide luminaires. With over 100,000 hour life expectancy (12+ years of 24/7 continuous operation), the EVO LED luminaire provides significant maintenance savings over traditional luminaires. Class 1 Division 2 also available. Wet location junction box available upon request.

Ordering Information

EXAMPLE: EV06 35/20 AR LSS WD MVOLT GZ10

Area	LED	Color Temperature	Color Rendering Index	Mounting	Finish	Options
EV06	EV06	35/20	AR	LSS	WD	MVOLT GZ10

WALL MOUNTED	QTY	LABEL	DESCRIPTION
	2	S1	FCWS7170-XXX-35K-2500-CR185-XX-D

ADDITIONAL FIXTURE INFO



FCWS7170

Specifications

Weight: 9.25 lbs
Finish: Matte black, powder coated
Material: Die cast aluminum
Mounting: Direct mount, 1/2" hole spacing
Beam Spread: 35°
Cutout Size: 3.5" dia
Housing: 2.5" dia
Housing Material: Die cast aluminum
Housing Finish: Matte black, powder coated
Housing Weight: 9.25 lbs
Housing Dimensions: 3.5" dia x 2.5" dia x 2.5" dia

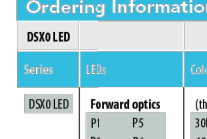
Introduction


The FCWS7170 is a high performance, high efficacy, long life luminaire. It is designed to provide superior illumination while blending into the canopy space seamlessly. The FCWS7170 is unique in that as a recessed canopy it can be installed in both 12" and 16" canopy decks. Features such as Adjustable Lumen Output Dial with 8 Settings and forward throw distribution (ASTC) option make the FCWS7170 one of the most versatile gas station canopies in the market. Lumen dial and driver are both accessible from below. With up to 1700 W the FCWS7170 LED delivers up to 90% in energy savings when replacing metal halide luminaires. With over 100,000 hour life expectancy (12+ years of 24/7 continuous operation), the FCWS7170 LED luminaire provides significant maintenance savings over traditional luminaires. Class 1 Division 2 also available. Wet location junction box available upon request.

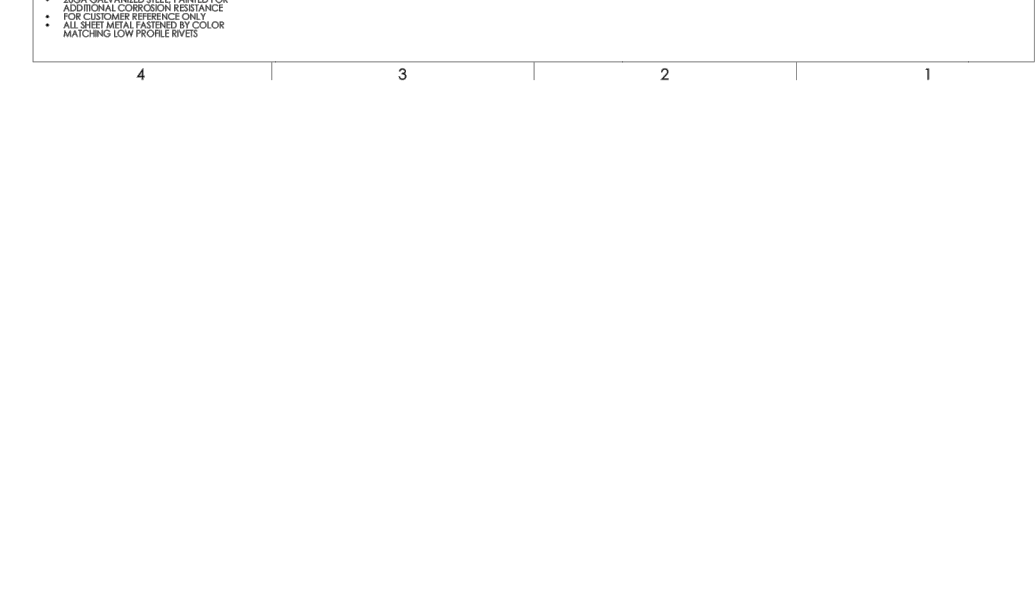
Ordering Information

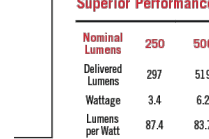
EXAMPLE: FCWS7170-XXX-35K-2500-CR185-XX-D

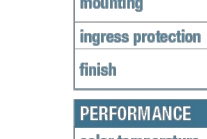
Area	LED	Color Temperature	Color Rendering Index	Mounting	Finish	Options
FCWS7170	FCWS7170	XXX	35K	2500	CR185	XX-D


Accessories	QTY	LABEL	DESCRIPTION
	1	A1	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1B	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1C	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1D	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1E	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02

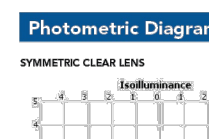
Accessories	QTY	LABEL	DESCRIPTION
	1	C1	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1B	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1C	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1D	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1E	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00




Accessories	QTY	LABEL	DESCRIPTION
	1	D1	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1B	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1C	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1D	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1E	EV06 35/20 AR LSS WD MVOLT GZ10


Accessories	QTY	LABEL	DESCRIPTION
	1	S1	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1B	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1C	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1D	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1E	FCWS7170-XXX-35K-2500-CR185-XX-D


Accessories	QTY	LABEL	DESCRIPTION
	1	A1	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1B	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1C	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1D	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1E	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02

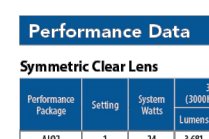
Accessories	QTY	LABEL	DESCRIPTION
	1	C1	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1B	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1C	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1D	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1E	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00



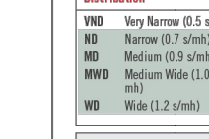
Accessories	QTY	LABEL	DESCRIPTION
	1	D1	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1B	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1C	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1D	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1E	EV06 35/20 AR LSS WD MVOLT GZ10

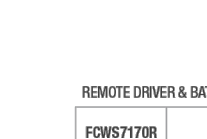
Accessories	QTY	LABEL	DESCRIPTION
	1	S1	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1B	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1C	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1D	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1E	FCWS7170-XXX-35K-2500-CR185-XX-D


Accessories	QTY	LABEL	DESCRIPTION
	1	A1	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1B	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1C	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1D	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1E	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02


Accessories	QTY	LABEL	DESCRIPTION
	1	C1	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1B	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1C	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1D	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1E	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00

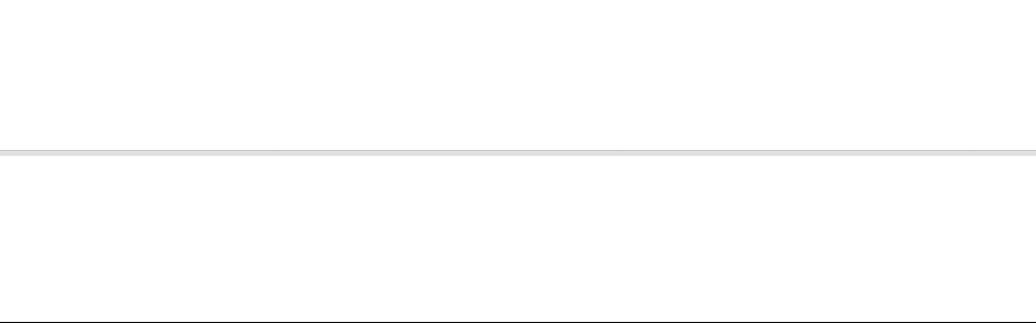


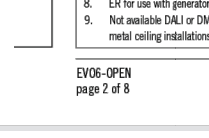
Accessories	QTY	LABEL	DESCRIPTION
	1	D1	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1B	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1C	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1D	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1E	EV06 35/20 AR LSS WD MVOLT GZ10

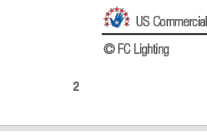
Accessories	QTY	LABEL	DESCRIPTION
	1	S1	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1B	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1C	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1D	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1E	FCWS7170-XXX-35K-2500-CR185-XX-D


Accessories	QTY	LABEL	DESCRIPTION
	1	A1	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1B	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1C	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1D	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02
	1	A1E	DSXO LED P6 40K 70CRI T3M MVOLT SPA N1A2R12 PH1M DBX02

Accessories	QTY	LABEL	DESCRIPTION
	1	C1	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1B	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1C	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1D	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00
	1	C1E	RCNY LED AL02 50K 70CRI SYMC MVOLT BZS DWX00



Accessories	QTY	LABEL	DESCRIPTION
	1	D1	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1B	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1C	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1D	EV06 35/20 AR LSS WD MVOLT GZ10
	1	D1E	EV06 35/20 AR LSS WD MVOLT GZ10

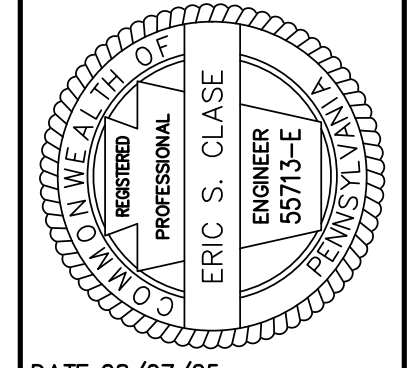
Accessories	QTY	LABEL	DESCRIPTION
	1	S1	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1B	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1C	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1D	FCWS7170-XXX-35K-2500-CR185-XX-D
	1	S1E	FCWS7170-XXX-35K-2500-CR185-XX-D



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

66 EAST BENTLEY AVENUE, SUITE 100, NEWTON, MA 02459-1430 • 617-552-4330 • www.gillmore-associates.com

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ERIC S. CLASE
PROFESSIONAL ENGINEER
56713-E

DATE: 08/07/25

REVIEW	DATE	DESCRIPTION	BY
1	08/07/25	PER UTILITY COORDINATION	LEH
2	05/23/25	PER RETEWM LTR. DATED 05/27/25	LEH
4	08/07/25	PER RETEWM LTR. DATED 08/09/25	LEH

PRELIMINARY-FINAL LAND DEVELOPMENT

920 CENTURY DRIVE WAWA

LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.: 2308023

WAWA STORE NO. 8256

OWNERS INFO:
PROVOC GOODWOOD CENTURY, LLC
705 EAST LANCASTER AVE.
SUITE 200
MILLANOLA, PA 19065
610-522-4572

MUNICIPAL FILE NO.: 2025-03

TAX MAP PARCEL NO.: 13-24-0795-173

TOTAL AREA: 2.35 AC.

TOTAL LOTS: 1

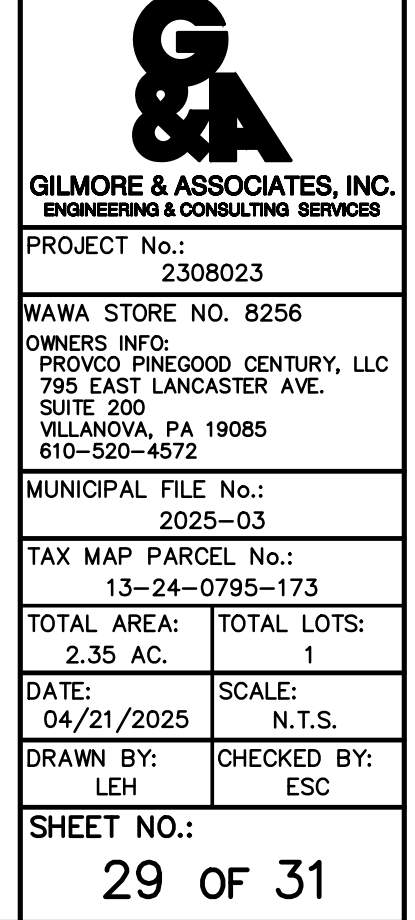
DATE: 04/21/2025

SCALE: N.T.S.

DRAWN BY: LEH

CHECKED BY: ESC

SHEET NO.: 29 OF 31

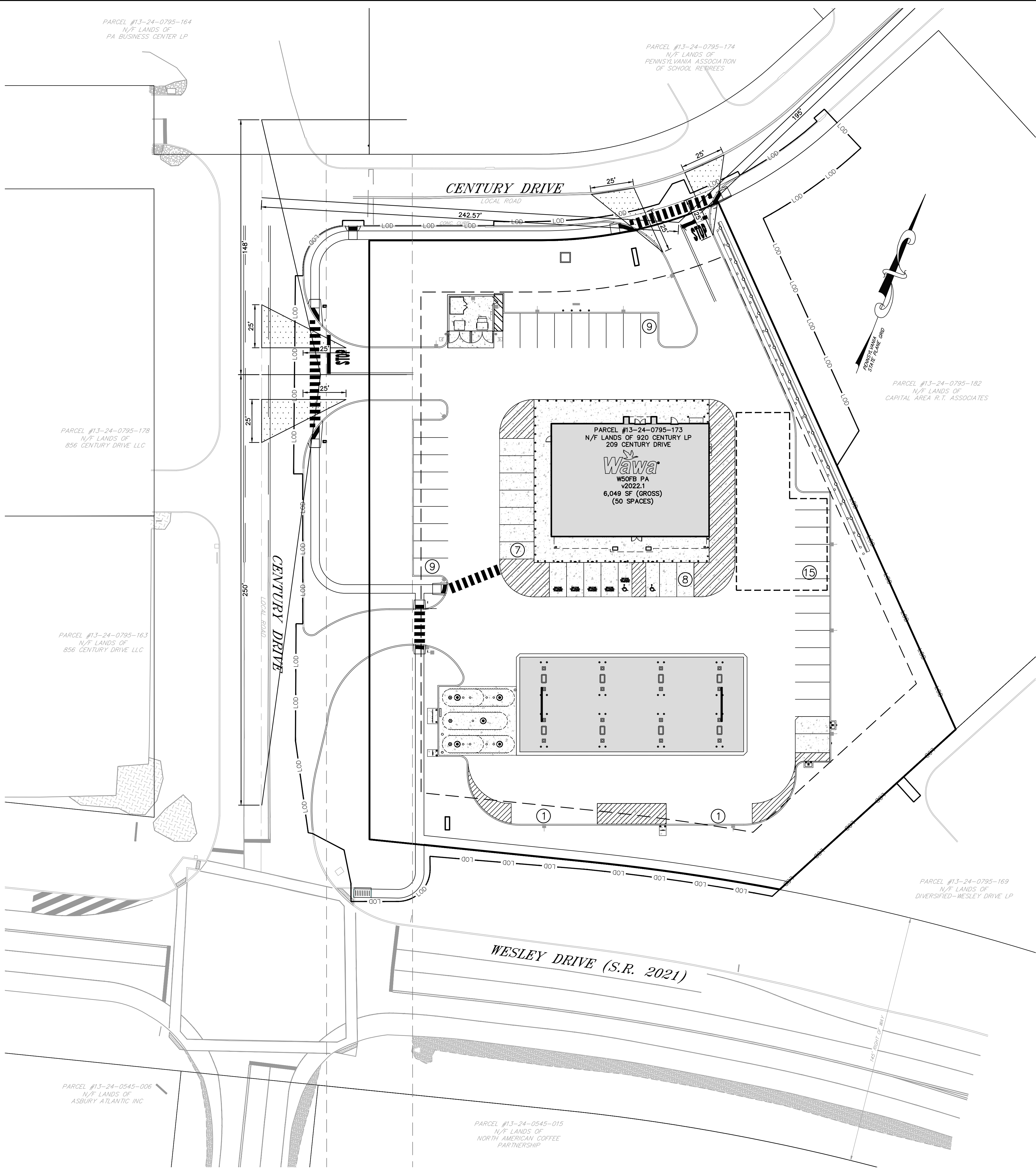


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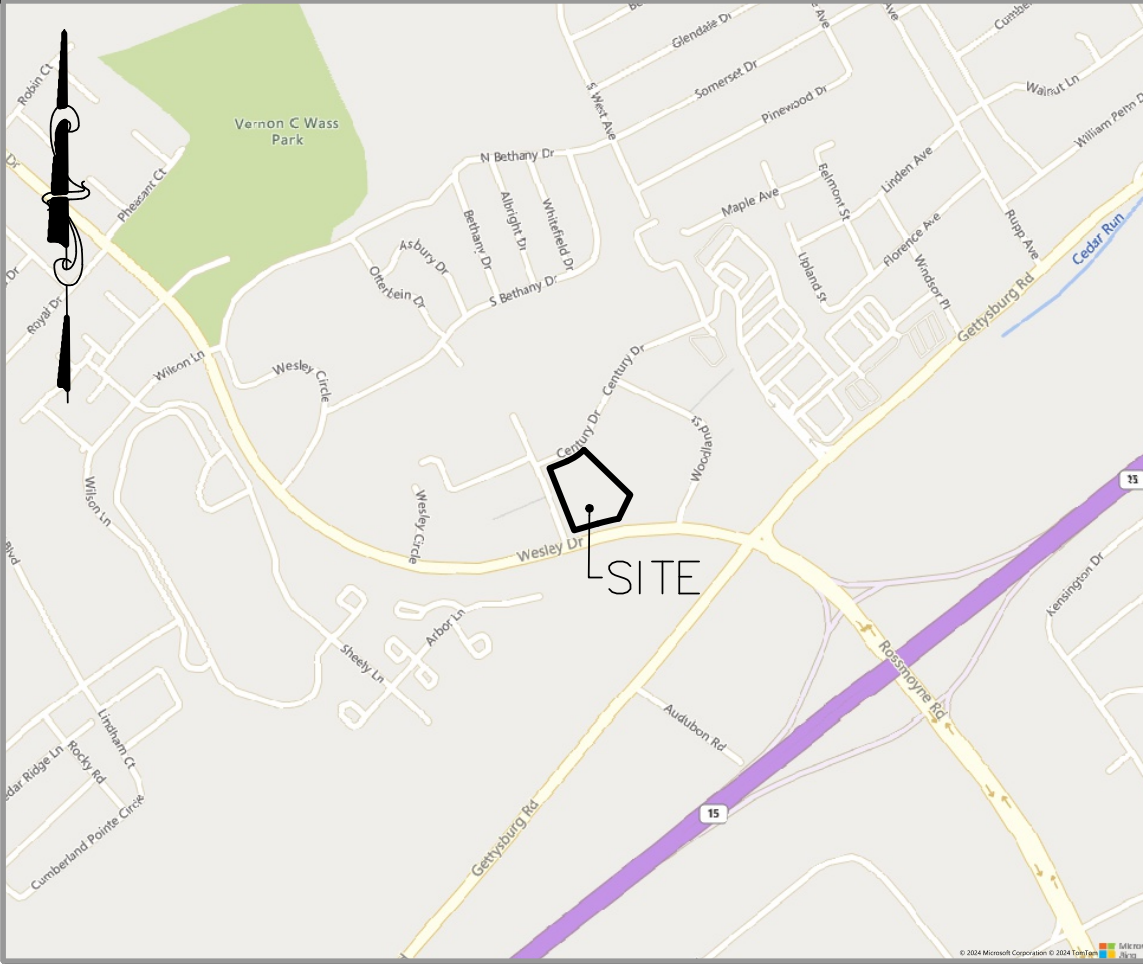
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C:\Autodesk\Bentley\Gilmore and Associates\230802308\PROVOCO_Wawa_920_Century_Dr_LID\Project_Files\2024\230802308\DESIGN\CAD\Prod_Dwgs\2308023-08_Clear_Sight_Distance.dwg Layout: 29_Clear_Sight_Distance.dwg Plotted By: lthess on Thu Aug 07, 2025 at 12:41pm



- LEGEND:**
- EXISTING PROPERTY BOUNDARY
 - EXISTING EDGE OF PAVEMENT
 - EXISTING EASEMENT
 - LEGAL RIGHT-OF-WAY
 - ULTIMATE RIGHT-OF-WAY
 - PROPOSED CLEAR SIGHT TRIANGLE



LOCATION MAP

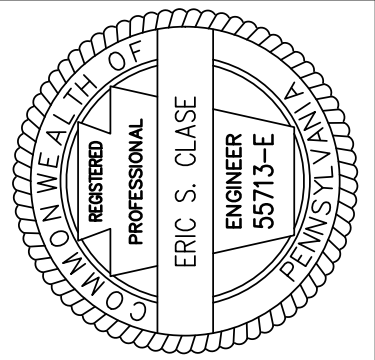
SCALE: 1"=1000'

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

66 EAST BENTLEY AVENUE, SUITE 100, NEW BRITAIN, CT 06053 • P: 203-345-4330 • www.gilmore-associates.com

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DATE: 08/07/25

REV.	DESCRIPTION	DATE	BY
4	PER RETIEW LTR. DATED 08/09/25	08/07/25	LEH
3	PER COCD LTR. DATED 05/27/25	08/30/25	LEH
2	PER RETIEW LTR. DATED 05/13/25	05/23/25	LEH
1	PER UTILITY COORDINATION	05/07/25	J.P

PRELIMINARY-FINAL LAND DEVELOPMENT

920 CENTURY DRIVE WAWA

LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

CLEAR SIGHT DISTANCE



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT NO.: 2308023

WAWA STORE NO. 8256

OWNERS INFO:
PROVOCO PINEGOOD CENTURY, LLC
705 EAST LANCASTER AVE.
SUITE 200
VILLANOVA, PA 19085
610-520-4572

MUNICIPAL FILE NO.: 2025-03

TAX MAP PARCEL NO.: 13-24-0795-173

TOTAL AREA: 2.35 AC. TOTAL LOTS: 1

DATE: 04/21/2025 SCALE: 1"=30'

DRAWN BY: LEH CHECKED BY: ESC

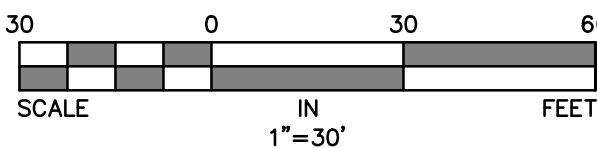
SHEET NO.: 31 OF 31

CLEAR SIGHT TRIANGLES									
DRIVEWAY	INTERSECTING ROAD	POSTED SPEED	SLOPE	LEFT MOVEMENTS			RIGHT MOVEMENTS		
				DESIRABLE SIGHT DISTANCE	SAFE STOPPING SIGHT DISTANCE	PROVIDED SIGHT DISTANCE	DESIRABLE SIGHT DISTANCE	SAFE STOPPING SIGHT DISTANCE	PROVIDED SIGHT DISTANCE
NORTH	CENTURY DRIVE	25 MPH	< 2.0%	250 FT	145 FT	242.57 FT	195 FT	145 FT	195 FT
WEST	CENTURY DRIVE	25 MPH	< 2.0%	250 FT	150 FT	250 FT	195 FT	148 FT	148 FT

DESIRABLE AND SAFE STOPPING SIGHT DISTANCES ARE TAKEN FROM TABLE 4, SIGHT DISTANCE ANALYSIS, FROM THE TIS, PREPARED BY TPD.

NOTE THAT PENNDOT TYPICALLY CONSIDERS THE DESIRABLE SIGHT DISTANCE REQUIREMENTS SATISFIED IF CLEAR SIGHT LINES ARE PROVIDED TO AN ADJACENT T-INTERSECTION BECAUSE TURNING VEHICLES WOULD TYPICALLY BE TRAVELING SLOWER THAN THE POSTED SPEED LIMIT UTILIZED IN THE SIGHT DISTANCE CALCULATIONS.

BASED ON THE ABOVE, THE MEASURED(EXISTING) SIGHT DISTANCES AT THE PROPOSED SITE ACCESS LOCATIONS EXCEED PENNDOT'S DESIRABLE SIGHT DISTANCE AND SAFE STOPPING SIGHT DISTANCE REQUIREMENTS, THEREFORE SATISFYING §192-57.C(14) OF THE LOWER ALLEN TOWNSHIP SALDO.



NOT APPROVED FOR CONSTRUCTION