

PRELIMINARY-FINAL LAND DEVELOPMENT

FOR

PROVCO PINEGOOD CENTURY, LLC.

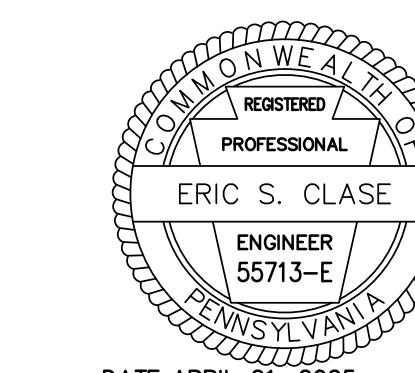
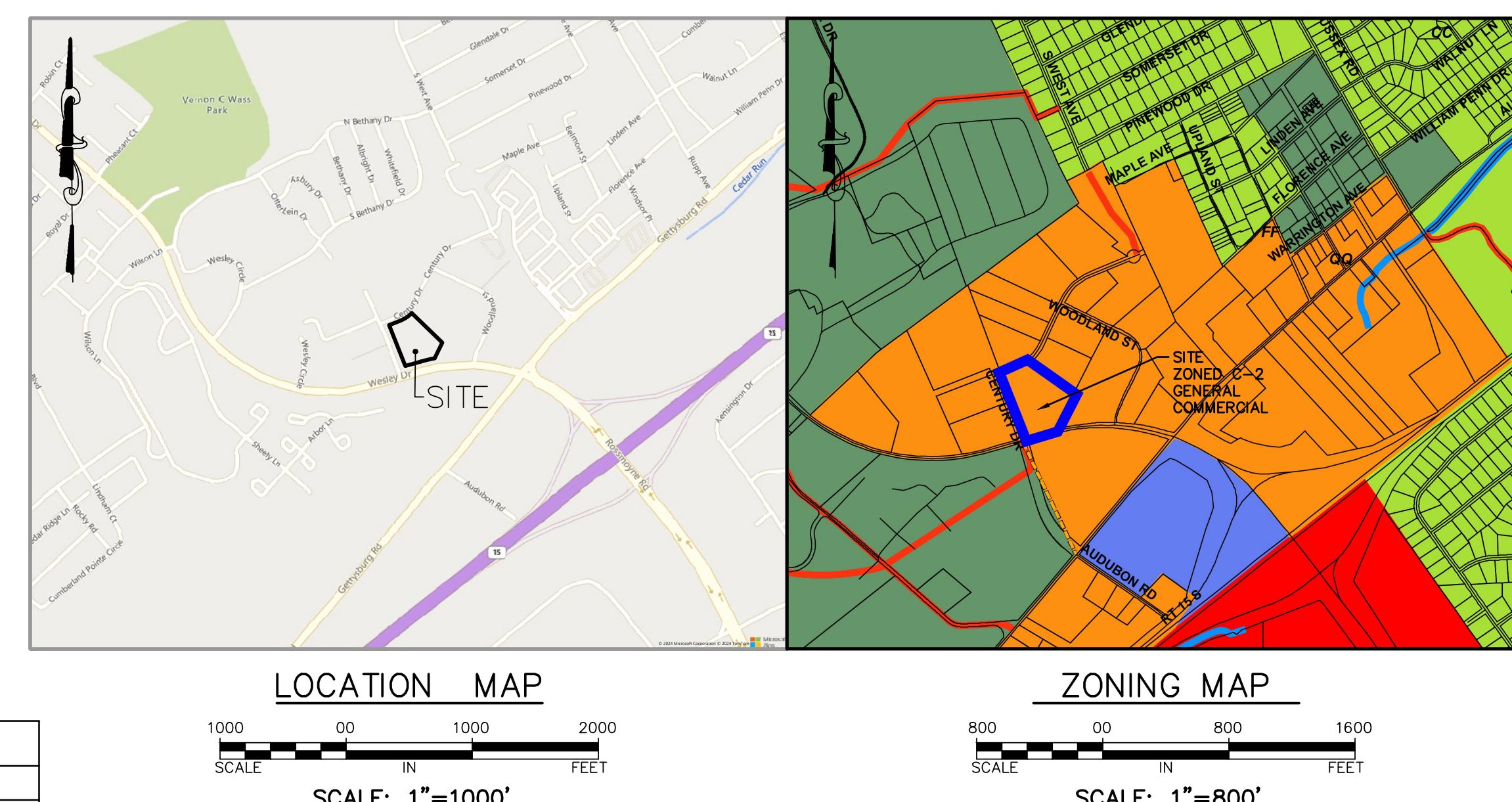
WAWA STORE NO. 8256

LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

DRAWING LIST

SHEET NO.	DRAWING NAME
SHEET 1 OF 31	COVER SHEET
SHEET 2 OF 31	GENERAL NOTES SHEET
SHEET 3 OF 31	SITE PLAN
SHEET 4 OF 31	EXISTING CONDITIONS & DEMOLITION PLAN
SHEET 5 OF 31	GRADING PLAN
SHEET 6 OF 31	ADA GRADING PLAN
SHEET 7 OF 31	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
SHEET 8 OF 31	PCSM NOTES
SHEET 9 OF 31	PCSM DETAILS 1-2
SHEET 10 OF 31	PCSM DETAILS 2-2
SHEET 11 OF 31	EROSION AND SEDIMENT CONTROL PLAN
SHEET 12 OF 31	E&S NOTES 1-2
SHEET 13 OF 31	E&S NOTES 2-2
SHEET 14 OF 31	E&S DETAILS
SHEET 15 OF 31	UTILITY PLAN
SHEET 16 OF 31	STORMWATER AND SANITARY PROFILES
SHEET 17 OF 31	LANDSCAPING PLAN
SHEET 18 OF 31	CONSTRUCTION DETAILS
SHEET 19 OF 31	WAWA CONSTRUCTION DETAILS 1-4
SHEET 20 OF 31	WAWA CONSTRUCTION DETAILS 2-4
SHEET 21 OF 31	WAWA CONSTRUCTION DETAILS 3-4
SHEET 22 OF 31	WAWA CONSTRUCTION DETAILS 4-4
SHEET 23 OF 31	PRE-DEV DRAINAGE AREA PLAN
SHEET 24 OF 31	POST-DEV DRAINAGE AREA PLAN
SHEET 25 OF 31	INLET DRAINAGE AREA PLAN
SHEET 26 OF 31	LOADING AND FIRE TRUCK CIRCULATION
SHEET 27 OF 31	FUEL AND GARBAGE TRUCK CIRCULATION
SHEET 28 OF 31	LIGHTING PLAN
SHEET 29 OF 31	LIGHTING DETAILS 1-2
SHEET 30 OF 31	LIGHTING DETAILS 2-2
SHEET 31 OF 31	CLEAR SIGHT DISTANCE

920 CENTURY DRIVE
MECHANICSBURG, PENNSYLVANIA 17055



SITE DATA	
CENTURY DRIVE, LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA	
WAWA STORE NUMBER	8256
TOTAL TRACT AREA	2.345 AC.
WAWA LEASE AREA	2.345 AC.
PARKING	
NUMBER OF PARKING SPACES	50 SPACES (INCLUDING ADA/OVERSIZED)
NUMBER OF ADA SPACES	2 SPACES
NUMBERS OF OVERSIZED SPACES	2 OVERSIZED SPACES
BUILDING TYPE	W50FB-PA (6,049 S.F.)
CANOPY CONFIGURATION	STACKED
NUMBER OF M.P.D.S.	4 (4+1) & 4 (4+1+1)
CANOPY TYPE	SLOPED
SQ. FT. OF ASPHALT INSIDE ROW	46,690 SQ. FT.
SQ. FT. OF LAWN AREAS	49,480 SQ. FT.
SQ. FT. OF MULCH AREAS	8,580 SQ. FT.

G & A GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
CORPORATE HEADQUARTERS
65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901 • (215) 345-4330 • www.gilmore-assoc.com

G & A GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
2308023 920 CENTURY DRIVE WAWA – AUGUST 07, 2025
PLAN DATE: April 21, 2025
LAST REVISED: August 07, 2025

SHEET NO.:
1 OF 31

GENERAL NOTES:

- PROPERTY KNOWN AS TAX MAP PARCEL 13-24-0795-173 AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF LOWER ALLEN, COUNTY OF CUMBERLAND, COMMONWEALTH OF PENNSYLVANIA.
- CONTAINING 2.35 ACRES (102,467 SQ.FT.) MORE OR LESS.
- THE BOUNDARY AND TOPOGRAPHY AS SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES, INC. IN DECEMBER OF 2024.
- VERTICAL DATUM IS NAD88 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM
- HORIZONTAL DATUM IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD 83) ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM
- BENCHMARK IS A CAPPED NAIL AT TE SOUTHWEST CORNER OF CENTURY DRIVE AND WESLEY DRIVE, WITH AN ELEVATION OF 421.00.
- FEMA FIRM MAP #420410-0279-F, EFFECTIVE DATE SEPTEMBER 07, 2023, DESIGNATES THE SITE AS ZONE X; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.
- LOWER ALLEN TOWNSHIP ORDINANCES UTILIZED FOR THIS PROJECT INCLUDE:
 - ZONING ORDINANCE ADOPTED 07/13/2009, AMENDMENTS NOTED WHERE APPLICABLE;
 - SUBDIVISION AND LAND DEVELOPMENT ORDINANCE ADOPTED 08/23/2010, AMENDMENTS NOTED WHERE APPLICABLE.
- DESIGNATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD MARK-OUTS BY UTILITY OWNERS, AND/OR ABOVE GROUND OBSERVATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED IN PREPARATION OF THESE DRAWINGS; THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DIA. AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THESE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO THE START OF WORK AND DOCUMENT THE LOCATION AND DEPTH IN WRITING. 8500-A, 28 DECEMBER 1974, AS LAST AMENDED ON OCTOBER 9, 2008, PENNSYLVANIA ACT 121.
- ALL CONTRACTORS WORKING ON THE PROJECT SHALL BE RESPONSIBLE FOR INSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THE PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
- ALL CONSTRUCTION REQUIREMENTS AND MATERIAL SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND DETAILS OF LOWER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCES, PADEP AND/OR PENNDOT FORM 408, LATEST EDITION AND PA-UCC WHERE APPLICABLE.
- NO STRUCTURES, FENCE, PLANTINGS, OR OTHER VISUAL OBSTRUCTION SHALL BE MAINTAINED ABOVE A VERTICAL PLANE 1.5 FEET ABOVE STREET LEVEL SO AS TO INTERFERE WITH TRAFFIC VISIBILITY WITHIN THE CLEAR SIGHT TRIANGLE SHOWN ON THE DRAWING. THE CLEAR SIGHT TRIANGLE IS MEASURED 10 FEET IN BOTH DIRECTIONS FROM THE POINT OF INTERSECTION OF THE STREET LINE AND THE EDGE OF THE DRIVEWAY.
- APPLICANT SHALL POST FINANCIAL GUARANTEE TO THE TOWNSHIP FOR TIMELY INSTALLATION AND PROPER CONSTRUCTION OF ALL STORMWATER MANAGEMENT FACILITIES. THE FINANCIAL GUARANTEE SHALL BE PROVIDED TO LOWER ALLEN TOWNSHIP PRIOR TO THE APPROVAL OF THE STORMWATER MANAGEMENT SITE PLAN.
- THE PROJECT SURVEYOR SHALL VERIFY THAT THE MINIMUM SIGHT DISTANCE HAS BEEN PROVIDED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- PLAN SHEETS 1 THRU 31 AS IDENTIFIED IN THE LIST OF DRAWINGS ON RECORD AT LOWER ALLEN TOWNSHIP SHALL BE CONSIDERED A PART OF THE APPROVED PLAN SET AS IF RECORDED WITH SAME.
- PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF PROPOSED STORMWATER MANAGEMENT FACILITIES AND STORMWATER DRAINAGE SYSTEM.
- REFER TO "POST-CONSTRUCTION STORMWATER MANAGEMENT (PCSM) REPORT AND EROSION & SEDIMENT CONTROL (E&S) REPORT, DATED APRIL 21, 2025, LAST REVISED AUGUST 07, 2025 FOR ADDITIONAL DESIGN INFORMATION AND CALCULATIONS. THESE REPORTS AND CALCULATIONS ARE HEREBY MADE A PART OF THESE APPROVED PLANS BY REFERENCE.
- NO TOPSOIL SHALL BE REMOVED FROM THE SITE.
- THE PROJECT IS LOCATED IN THE CEDAR RUN WATERSHED.
- RECEIVING WATERCOURSES: CEDAR RUN (POA- 001 AND POA-002), ALL HAVE A CHAPTER 93 RECEIVING WATER CLASSIFICATION OF CW, MF (COLD WATER FISHES, MIGRATORY FISHES).
- AS-BUILT PLAN OF THE MRC STORMWATER FACILITY SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER PRIOR TO ADDITIONAL SITE ACTIVITIES. A FINAL AS-BUILT PLAN INCLUDING, BUT NOT LIMITED TO, BUILDING, CURBING, STRUCTURES, UTILITIES, AND STORMWATER FACILITIES, SHALL BE PROVIDED TO THE TOWNSHIP UPON SUBSTANTIAL COMPLETION OF THE PROJECT.
- APPLICANT AND OWNER ACKNOWLEDGE THAT CERTAIN SITE IMPROVEMENTS PROVIDED IN THIS PLAN, INCLUDING, BUT NOT LIMITED TO ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTE TO THE BUILDING AND FREESTANDING SIGNS, THAT REQUIRE APPROVAL UNDER REGULATIONS CONTAINED IN THE PA UNIFORM CONSTRUCTION CODE AND/OR LOWER ALLEN TOWNSHIP ZONING CODE MUST BE INSTALLED IN ACCORDANCE WITH SEPARATE PERMIT APPROVALS GRANTED UNDER THOSE REGULATIONS.
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.
- A SEPARATE ZONING/BUILDING PERMIT WILL BE REQUIRED FOR ALL PROPOSED SIGNS.
- A BLANKET STORMWATER MANAGEMENT EASEMENT IS GRANTED TO THE TOWNSHIP FOR THE PURPOSE OF ACCESS AND INSPECTION OF THE MRC BASIN FACILITY ON AN ANNUAL BASIS. ALL COSTS AND EXPENSES ASSOCIATED WITH THIS EASEMENT SHALL BE PAID BY THE TOWNSHIP BY OWNER IN PERPETUITY. IN THE JUDGEMENT OF THE TOWNSHIP ENGINEER, THE OWNER HAS FAILED TO MAINTAIN THE MRC BASIN FACILITY IN SUCH A MANNER AS TO ENSURE THE PROPER FUNCTIONING OF THE FACILITY, THE TOWNSHIP, AFTER PROVIDING A WRITTEN NOTICE, SHALL HAVE THE RIGHT TO ENTER UPON LANDS OF THE OWNER, AND TO MAKE ANY REPAIRS AS MAY BE NECESSARY TO THE BASIN FACILITY, AND TO REPAIR ANY SUCH FACILITIES FUNCTION AND PERFORM IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS, ANY AND ALL COSTS INCURRED BY THE TOWNSHIP FOR SUCH REPAIRS AND/OR MAINTENANCE SHALL BE PAID IN FULL BY TE OWNER. A LIEN OR LIENS MAY BE PLACED AGAINST THE PROPERTY IF THE OWNER FAILS TO REMIT PAYMENT WITHIN SIXTY (60) DAYS IN ACCORDANCE WITH THE OPERATION AND MAINTENANCE AGREEMENT FOR THIS.
- STORMWATER MANAGEMENT FACILITIES OPERATION AND MAINTENANCE AGREEMENT WITH THE TOWNSHIP SHALL BE SIGNED AND RECORDED FOR THIS DEVELOPMENT.
- NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY SWM BMP'S, FACILITIES, AREAS, STRUCTURES, OR EASEMENTS THAT WERE INSTALLED/APPROVED AS A REQUIREMENT OF LOWER ALLEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
- CONTRACTOR TO VERIFY CONDITION OF EXISTING CONCRETE CURB PER CURB EVALUATION CRITERIA PROVIDED ON SHEET 17, IF IT IS DETERMINED THAT ADDITIONAL CURB REPLACEMENT IS NEEDED, THE PROPOSED CURB WILL BE REVISED ACCORDINGLY
- THIS PROJECT HAS RECEIVED APPROVAL OF A PLANNING MODULE EXEMPTION.

DEMOLITION NOTES:

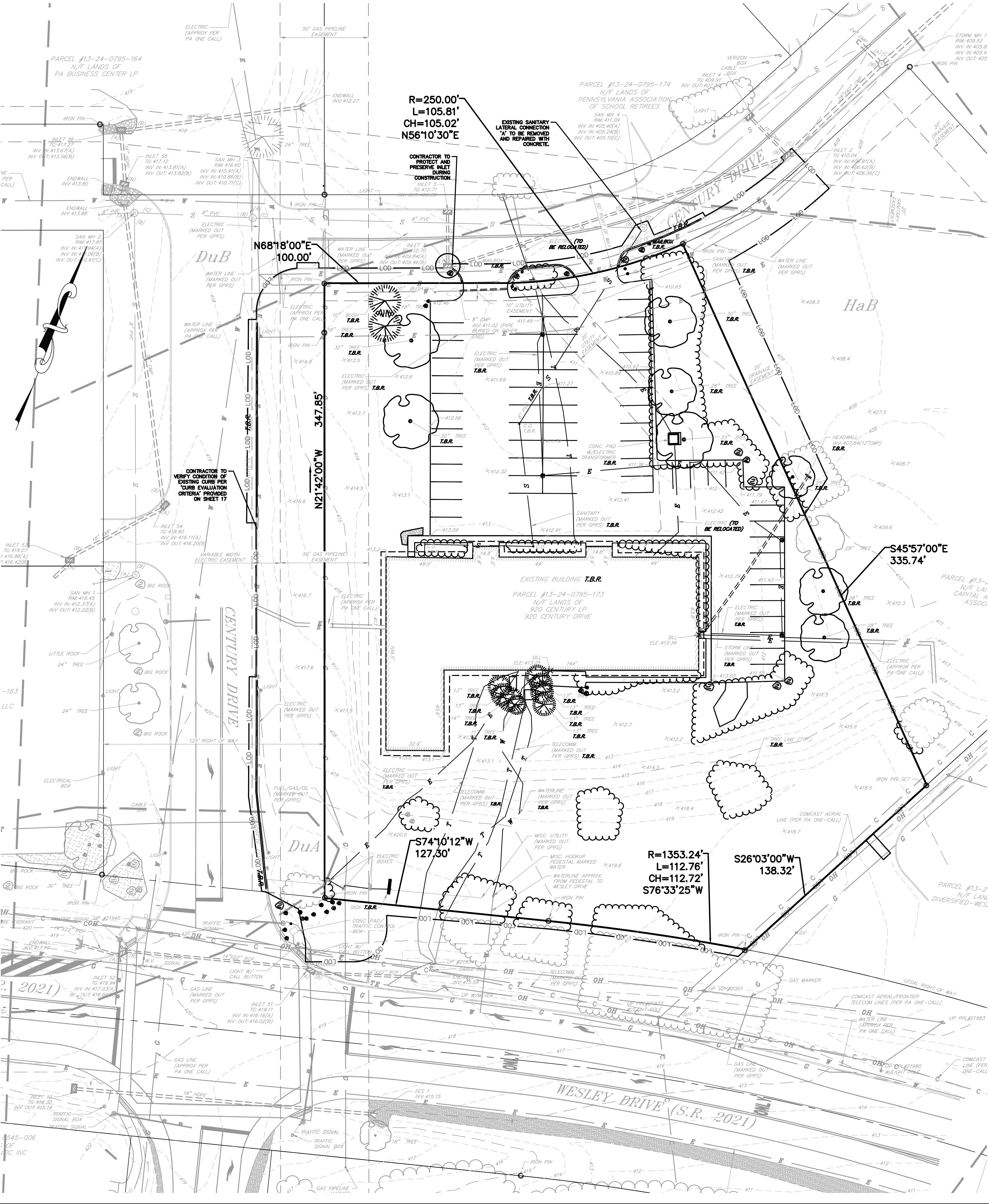
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
- COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
- DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
- REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOISTS, DERRICKS, OR OTHER SUITABLE METHODS.
- BREAK UP CONCRETE SLABS-ON-GRADE UNLESS OTHERWISE DIRECTED BY OWNER.
- LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
- DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH LESS THAN 12 FEET, AND ALL CONCRETE PAVEMENT OR, BREAK BASEMENT FLOOR, SHALL BE SEAL ALL SEWERS, UTILITY LINES IN CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
- ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONNEL AND EQUIPMENT. CONDUCT DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
- REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
- CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- USE WATERING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- COMPLETELY FILL BELOW GRADE AREAS AND Voids RESULTING FROM THE DEMOLITION OF STRUCTURES AND OTHER DEMOLITION MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIALS FROM THE DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO ACCESSION OF MATERIALS, CONTRACTOR SHALL UNDERTAKE ALL NECESSARY MEASURES TO ENSURE THAT ALL DEBRIS ARE FREE FROM STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS, PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, TRASH, SPAGHETTI, ITEM, HAZARDOUS AND COMBUSTIBLE MATERIALS. REMOVED MATERIALS MAY NOT BE STORED ON-SITE OR BURNED ON-SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
- DISCONNECT, SHUT OFF AND SEAL IN CONCRETE, ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND OTHER UTILITIES SERVING THE STRUCTURE(S) PRIOR TO THE COMMENCEMENT OF DEMOLITION SERVICES. THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PROCEDURES ARE IN ACCORDANCE WITH APPLICABLE SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
- CONTRACTOR TO VERIFY CONDITION OF EXISTING CONCRETE CURB PER CURB EVALUATION CRITERIA PROVIDED ON SHEET 17, IF IT IS DETERMINED THAT ADDITIONAL CURB REPLACEMENT IS NEEDED, THE PROPOSED CURB WILL BE REVISED ACCORDINGLY.

UTILITY NOTES:

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDIVIDUALLY AND SEPARATELY. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY ONE CALL NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
- REVIEW ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS WHERE CONFLICTS EXIST WITH THESE SITE PLANS. ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL WATER MAIN SHALL BE CEMENT-LINED CLASS 52 DUCTILE IRON PIPE UNLESS OTHERWISE DESIGNATED.
- THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
- SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THESE SEWER MAINS AT LEAST 18 INCHES BELOW THE WATER MAIN. ALL SEWER MAINS SHALL BE SDR-35 PVC PIPE UNLESS OTHERWISE DESIGNATED.
- ALL SEWER PIPE CROSSINGS WITH WATER MAIN OR STORMWATER CONDUITS LESS THAN 18" VERTICAL CLEARANCE SHALL BE CONCRETE ENCASED.
- WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10 FEET DEEP AT CONNECTION TO THE SEWER, MAIN CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
- LOCATION AND LAYOUT OF GAS, ELECTRIC, AND TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION AND LAYOUT OF THESE UTILITIES AND SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
- ROOF LEADER COLLECTION PIPING ARE SCHEMATIC IN NATURE AND ARE NOT FOR CONSTRUCTION AS-IS. ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED WITH ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
- ALL PROPOSED UTILITIES ARE TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURE REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS HE-II UNLESS OTHERWISE DESIGNATED. MANUFACTURE STORM PIPE TO CONFORM TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PERFORM FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C990 TO BE UTILIZED AND TO PROVIDE A SLIT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATERTIGHT AND CONFORM TO ASTM C-443.
- HDPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERNAL CONDUIT. SPACED JOINTS SHALL MEET THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SLIT TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HDPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HDPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
- HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERNAL CONDUIT AND CONFORM TO ASTM F2747 (12-30" PIPE) AND ASTM F2850 (30-60" PIPE). PIPE SHALL HAVE GASKETED WATERTIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATERTIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
- Pipe lengths on this plan have been measured as the distance between the center point of the 2 connected structures. Actual physical pipe length for installation is expected to be less and should be accounted for by the contractors accordingly.
- SANITARY SEWER LATERAL SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOWER ALLEN TOWNSHIP AUTHORITY RULES AND REGULATIONS.

GRADING AND DRAINAGE NOTES:

- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE PA 802, NO. 287, DECEMBER 10, 1974, AS AMENDED ON DECEMBER 12, 1986 P.L. NO. 172. CONTRACTOR MUST NOTIFY PA ONE CALL 3-1-1 OR INC. THREE (3) DAYS PRIOR TO CONSTRUCTION: 1-800-242-1776.
- CONTRACTOR SHALL NOT ENROACH UPON ADJOINING PROPERTIES UNLESS TOWNSHIP ENGINEER APPROVES THE ENROACHMENT. CONTRACTOR SHALL NOT ENROACH UPON ADJOINING PROPERTY OWNER. CONTRACTOR SHALL HAVE PROPERTY LINES CLEAR AND FREE FROM OBSTRUCTIONS. CONTRACTOR SHALL NOT ENROACH UPON THE PROPERTY LINE AND NOT CONSTRUCT ANY BARRIERS WHICH ARE NECESSARY TO PREVENT ENROACHMENT UPON ADJOINING PROPERTY.
- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES ARE IN ACCORDANCE WITH THE PA UNIFORM CONSTRUCTION CODE AND/OR LOWER ALLEN TOWNSHIP ZONING CODE AND APPLICABLE SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
- NO TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS APPROVED BY THE TOWNSHIP. THE TOWNSHIP MAY REQUIRE THE CONTRACTOR TO REINSTATE THE EROSION AND SEDIMENT CONTROL PLANS FOR DETAILS AND LOCATIONS.
- ALL CONSTRUCTION ACTIVITIES ON THE SITE SHALL CONFORM TO THE TOWNSHIP CONSTRUCTION EASEMENT AGREEMENT AND STORM SEWER INLETS SHALL CONFORM TO PADOT STANDARDS DETAILS.
- THE TOP OF GRADE ELEVATION FOR THE STORM SEWER INLETS IS FOR THE CONSTRUCTION OF THE STORM SEWER INLETS.
- ANY SPRING ENCOUNTERED DURING CONSTRUCTION SHALL BE OUTLETTED DUE TO THE POTENTIAL FOR SEEPAGE AND POSSIBLE DAMAGE TO THE PROPERTY. U-DRAIN PLACEMENT TO BE BY DIRECTION OF DESIGN ENGINEER.
- ALL AREAS SHALL BE PROPERLY GRADED TO ENSURE PROPER DRAINAGE. NO LOW SPOTS, DRAINS, BACS, OR WATER COURSE WITHOUT PONDING OR OBSTRUCTION.
- IN ALL CASES, ELEVATIONS CHANGE FROM THE FINAL APPROVED PLAN SET AND BUILDING PERMIT, A LEVEE SHALL BE CONSTRUCTED.
- IMPROVEMENTS ON-SITE OR OFF-SITE, SHALL NOT AFFECT THE STORM SEWER INLETS OR OUTLETS.
- ALL EXISTING UTILITY VALVES, MANIFOLDS, AND JUNCTION STRUCTURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- ALL CONSTRUCTION SHALL BE SUBJECT TO THE REQUIREMENTS OF THE PA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE MUNICIPALITY.
- ALL CONTRACTOR WORKS AND MATERIALS SHALL COMPLY WITH PENNDOT SPECIFICATIONS (PA-1000) AND PENNDOT STANDARDS, WITH APPLICABLE FEDERAL, STATE, AND MUNICIPAL CODES, AND WITH OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS. IN THE EVENT OF A CONFLICT, THE STANDARDS WHICH ARE THE GREATER OR MORE STRINGENT STANDARD SHALL APPLY.
- NO TOPSOIL SHALL BE REMOVED FROM THE SITE.
- CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY SITE CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, INVERTS, ELEVATIONS, AND GRADES. CONTRACTOR SHALL NOT ENROACH UPON ADJOINING PROPERTIES UNLESS Brought TO THE ATTENTION OF THE DESIGN ENGINEER AND RESOLVED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IN ALL CASES, WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ORAL DIMENSIONS. CONTRACTOR SHALL NOT ENROACH UPON ADJOINING PROPERTIES UNLESS CONFRONTED BY THE DESIGN ENGINEER.
- ALL CONSTRUCTION REQUIREMENTS, METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PA UNIFORM CONSTRUCTION CODE, LOWER ALLEN TOWNSHIP ENGINEERING AND CONSTRUCTION STANDARDS, THE LOWER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCES AND APPROVED PERMIT FOR FORM 408, LATEST EDITION. LOWER ALLEN TOWNSHIP STANDARDS SHALL GOVERN WHERE CONFLICTING STANDARDS OCCUR.
- THE STORM SEWER INLETS ARE A BASIC AND PERPETUAL PART OF THE STORM DRAINAGE SYSTEM OF LOWER ALLEN TOWNSHIP AND AS SUCH ARE TO BE PROTECTED AND PRESERVED IN ACCORDANCE WITH THE STORM DRAINAGE SYSTEM. THE TOWNSHIP SOLICITOR SHALL BE NOTIFIED IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP AND SCM FACILITIES WITHIN ALL PRIVATELY OWNED LANDS SHOWN ON THESE PLANS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP SOLICITOR SHALL BE NOTIFIED IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP AND SCM FACILITIES WITHIN ALL PRIVATELY OWNED LANDS SHOWN ON THESE PLANS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP SOLICITOR SHALL BE NOTIFIED IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP AND SCM FACILITIES WITHIN ALL PRIVATELY OWNED LANDS SHOWN ON THESE PLANS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP SOLICITOR SHALL BE NOTIFIED IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP AND SCM FACILITIES WITHIN ALL PRIVATELY OWNED LANDS SHOWN ON THESE PLANS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP SOLICITOR SHALL BE NOTIFIED IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP AND SCM FACILITIES WITHIN ALL PRIVATELY OWNED LANDS SHOWN ON THESE PLANS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP SOLICITOR SHALL BE NOTIFIED IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP AND SCM FACILITIES WITHIN ALL PRIVATELY OWNED LANDS SHOWN ON THESE PLANS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP SOLICITOR SHALL BE NOTIFIED IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP AND SCM FACILITIES WITHIN ALL PRIVATELY OWNED LANDS SHOWN ON THESE PLANS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP SOLICITOR SHALL BE NOTIFIED IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP AND SCM FACILITIES WITHIN ALL PRIVATELY OWNED LANDS SHOWN ON THESE PLANS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP SOLICITOR SHALL BE NOTIFIED IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP AND SCM FACILITIES WITHIN ALL PRIVATELY OWNED LANDS SHOWN ON THESE PLANS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP SOLICITOR SHALL BE NOTIFIED IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP AND SCM FACILITIES WITHIN ALL PRIVATELY OWNED LANDS SHOWN ON THESE PLANS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP SOLICITOR SHALL BE NOTIFIED IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP AND SCM FACILITIES WITHIN ALL PRIVATELY OWNED LANDS SHOWN ON THESE PLANS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP SOLICITOR SHALL BE NOTIFIED IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP AND SCM FACILITIES WITHIN ALL PRIVATELY OWNED LANDS SHOWN ON THESE PLANS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP SOLICITOR SHALL BE NOTIFIED IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP AND SCM FACILITIES WITHIN ALL PRIVATELY OWNED LANDS SHOWN ON THESE PLANS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP SOLICITOR SHALL BE NOTIFIED IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP AND SCM FACILITIES WITHIN ALL PRIVATELY OWNED LANDS SHOWN ON THESE PLANS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE TOWNSHIP SOLICITOR SHALL BE NOTIFIED IN FAVOR OF LOWER ALLEN TOWNSHIP IS HEREBY PROVIDED FOR ACCESS AND MAINTENANCE OF THE STORM DRAINAGE SYSTEM. THE T



GENERAL SURVEY NOTES

- PROPERTY KNOWN AS TAX MAP PARCEL 13-24-0795-173 AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF LOWER ALLEN, COUNTY OF CUMBERLAND, COMMONWEALTH OF PENNSYLVANIA.
- CONTAINING 2.35 ACRES (102,467 SQ.FT.) MORE OR LESS.
- THIS SURVEY WAS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER 166817CD-02, HAVING A COMMITMENT DATE OF FEBRUARY 28, 2024, WITH THE SURVEY EXCEPTIONS LISTED IN SCHEDULE B, PART 1, ATTACHED HERON.
- TOPOGRAPHIC INFORMATION AND EXISTING FEATURES SHOWN WERE COMPILED BY A FIELD SURVEY PERFORMED BY GILMORE & ASSOCIATES, INC. IN DECEMBER OF 2024.
- SUBJECT TO COVENANTS, RESTRICTIONS AND/OR EASEMENTS EITHER WRITTEN OR IMPLIED.
- HORIZONTAL DATUM IS NAD83 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
- VERTICAL DATUM IS NAVD88 AND WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) WITH OBSERVATIONS REFERENCED TO THE KEYNET-GPS VIRTUAL REFERENCE STATION SYSTEM.
- BENCHMARK IS A CAPPED NAIL AT THE SOUTHWEST CORNER OF CENTURY DRIVE AND WESLEY DRIVE WITH AN ELEVATION OF 421.00.
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WAS OBSERVED AT THE TIME OF THE SURVEY.
- NO CHANGES IN THE STREET RIGHT-OF-WAY LINES OR EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED AT THE TIME OF THE SURVEY.
- THE SUBJECT PROPERTY SHOWN HERON FORMS A MATHEMATICALLY CLOSED FIGURE WITHOUT ANY GAPS, GORES OR OVERLAPS.
- THE LAND DESCRIBED IN ISSUING OFFICE FILE NUMBER 166817CD-02 IS THE SAME LAND DESCRIBED ON THE SURVEY.
- PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), SITE IS LOCATED IN FLOOD ZONE X - OTHER AREAS - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, AND FOUND ON FLOOD INSURANCE RATE MAP (FIRM) 42041C-0279-F, EFFECTIVE DATE SEPTEMBER 7, 2023.

REFERENCES

- GPRS FINDINGS MAP PREPARED FOR GILMORE AND ASSOCIATES, INC. LOCATION 920 CENTURY DRIVE, MECHANICSBURG, PA. DATED 11-27-24
- PLAN ENTITLED "COMMONWEALTH OF PENNSYLVANIA - DEPARTMENT OF HIGHWAYS - FINAL DRAWINGS FOR CONSTRUCTION BY THE STATE HIGHWAY AND BRIDGE AUTHORITY - LEG ROUTE 123 SECTION 10 IN CUMBERLAND COUNTY AND LEG. ROUTE 21069 SECTION 4", PREPARED BY BERGER ASSOCIATES INC. DATED 1-30-69 AND APPROVED 11-19-69.
- PLAN ENTITLED "COMMONWEALTH OF PENNSYLVANIA - DEPARTMENT OF TRANSPORTATION - DRAWINGS FOR CONSTRUCTION OF STATE ROUTE 2021 SECTION 003 - IN CUMBERLAND COUNTY", PREPARED BY DISTRICT 8-0 HIGHWAY DESIGN UNIT. DATED 2-25-14 AND FINAL INSPECTION/AS-BUILT 7-28-15.
- PLAN BOOK 58, PAGE 144, PLAN BOOK 91, PAGE 147A, PLAN BOOK 64, PAGE 102, PLAN BOOK 49, PAGE 87, PLAN BOOK 55, PAGE 92.
- INSTRUMENT #202308130, INSTRUMENT #202000435, INSTRUMENT #20131913, INSTRUMENT #201407587, INSTRUMENT #20102526, INSTRUMENT #20074753
- DEED BOOK 32, PAGE 1012, DEED BOOK 32, PAGE 901.

DEMOLITION NOTE

ALL BOLD FEATURES WITHIN THE LIMIT OF DISTURBANCE SHALL BE REMOVED DURING CONSTRUCTION ACTIVITIES, INCLUDING BUT NOT LIMITED TO: ASPHALT PAVEMENT, CURBING, CONCRETE WALKWAYS, GRAVEL/DIRT AREAS, TREES, FENCING, SIGNS, LAMPS, ETC.

AVOIDANCE MEASURE

- THE PROPOSED PROJECT IS LOCATED IN THE VICINITY OF NORTHERN LONG-EARED BAT SPRING STAGING/FALL SWARMING HABITAT. TO ENSURE TAKE IS NOT REASONABLY CERTAIN TO OCCUR, DO NOT CONDUCT TREE REMOVAL FROM MAY 15 - AUGUST 15.
- IF TREE REMOVAL IS TO OCCUR DURING THIS TIME, A SPECIALIST SHALL PERFORM A PRESENCE/ABSENCE SURVEY IN COORDINATION WITH FISH & WILDLIFE SERVICES.

SOILS LEGEND AND TABLE OF LIMITATIONS & RESOLUTIONS BASED ON USDA-NRCS WEB SOIL SURVEY OF CUMBERLAND COUNTY								
SYMBOL	MAPPING UNITS	SLOPE	LAND CAPBLTY	HYDRC SOIL	HYDRO. GROUP	DEPTH TO	LIMITATIONS FOR CONSTRUCTION	RESOLUTION OF LIMITATIONS
DuA	DUFFIELD SILT LOAM	0-3%	1	YES	B	60-80"	> 5'	NOT LIMITED
DuB	DUFFIELD SILT LOAM	3-8%	2e	YES	B	60-80"	> 5'	NOT LIMITED
HaB	HAGERSTOWN SILT LOAM	3-8%	2e	YES	B	43-98"	> 5'	SOMEWHAT LIMITED: SHRINK-SWELL POTENTIAL COMPACTATION AS PER PLAN SPECIFICATION

*SEE E&S NOTES SHEET 2 FOR SOILS LIMITATIONS AND RESOLUTION TABLES

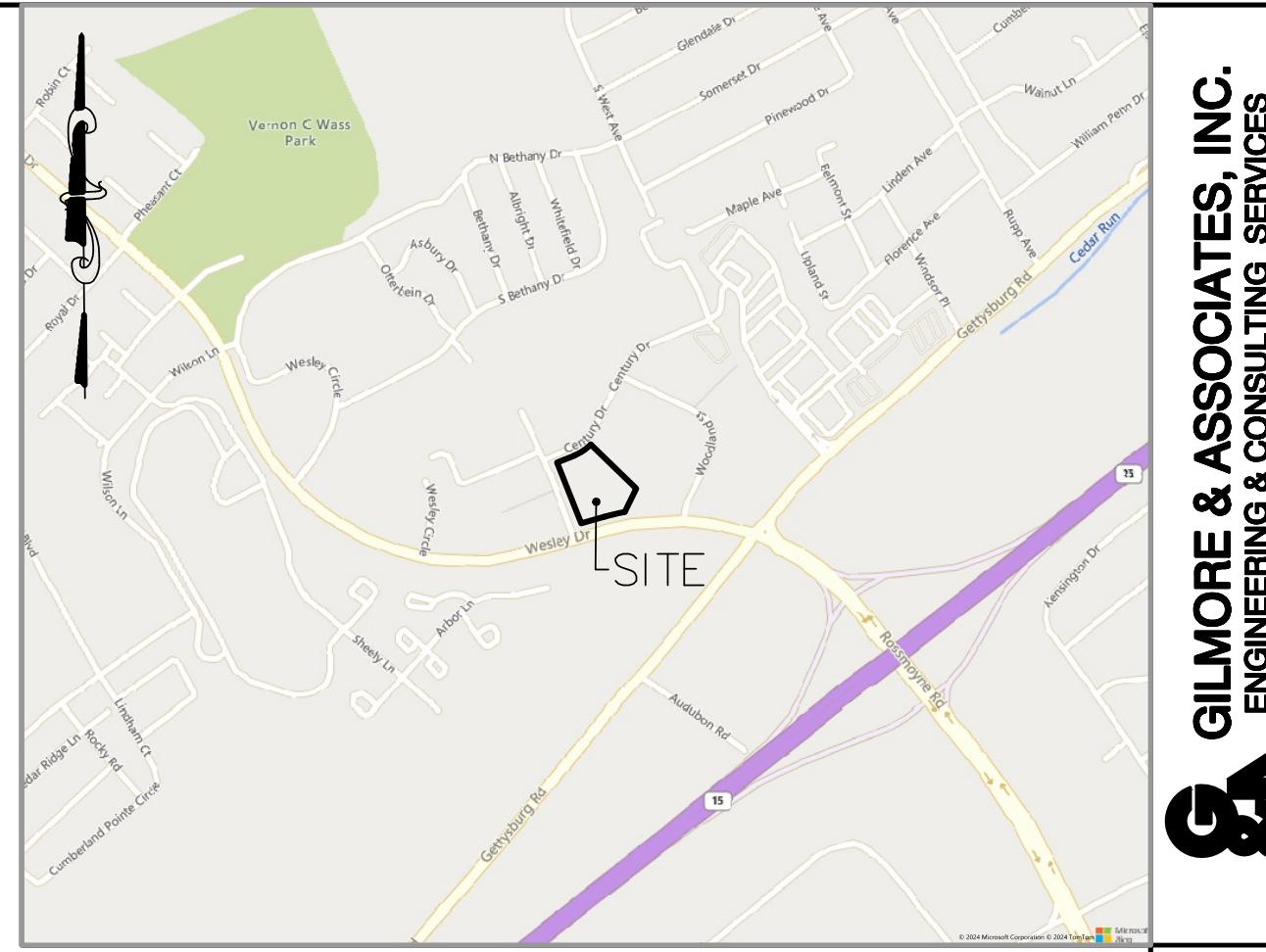
PENNSYLVANIA ONE CALL SYSTEM, INC.

925 Irwin Run Road
West Mifflin, Pennsylvania
15122 - 1078



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
DRILL, BLAST OR DEMOLISH
GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL
SERIAL NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

SERIAL NO. 20243203027



LOCATION MAP
SCALE: 1"=1000'
DATE: 08/07/25

LEGEND

- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- +228.0 EXISTING SPOT ELEVATION
- TREE LINE
- LEGAL RIGHT-OF-WAY
- ULTIMATE RIGHT-OF-WAY
- STORM LINE
- G GAS LINE
- OH OVERHEAD ELECTRIC LINE
- E ELECTRIC LINE
- S SANITARY LINE
- W WATER LINE
- EXISTING EASEMENT
- SANITARY MANHOLE
- STORM INLET
- DETECTABLE WARNING SURFACE
- GAS VALVE
- WATER VALVE
- FIRE HYDRANT
- ELECTRIC METER
- GUY
- UTILITY POLE
- MAILBOX
- LIGHT STANDARD
- CONCRETE MONUMENT FOUND
- IRON PIN FOUND
- BENCHMARK SET

920 CENTURY DRIVE WAWA

LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
CORPORATE HEADQUARTERS: 60 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18905
www.gilmore-associates.com
ONLY THOSE PLANS INCORPORATING THE PROFESSIONAL SEAL SHOULD BE CONSIDERED OFFICIAL AND RELIED UPON BY THE USER. THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY. THE BEARING AND ALIGNMENT INFORMATION CONTAINED HEREIN IS UNDERTAKEN ON THE UNDERSTANDING THAT GILMORE & ASSOCIATES, INC. IS PROHIBITED FROM MAKING ANY CHANGES WITHOUT THE EXPRESSED CONSENT OF GILMORE & ASSOCIATES, INC. ALL RIGHTS RESERVED



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT NO.: 2308023

WAWA STORE NO. 8256

OWNERS INFO: PROVOCO PINEGROVE CENTURY, LLC

795 EAST LANCASTER AVE.

SUITE 100, VILLANOVA, PA 19085

610-520-4572

MUNICIPAL FILE NO.: 2025-03

TAX MAP PARCEL NO.: 13-24-0795-173

TOTAL AREA: 2.35 AC.

TOTAL LOTS: 1

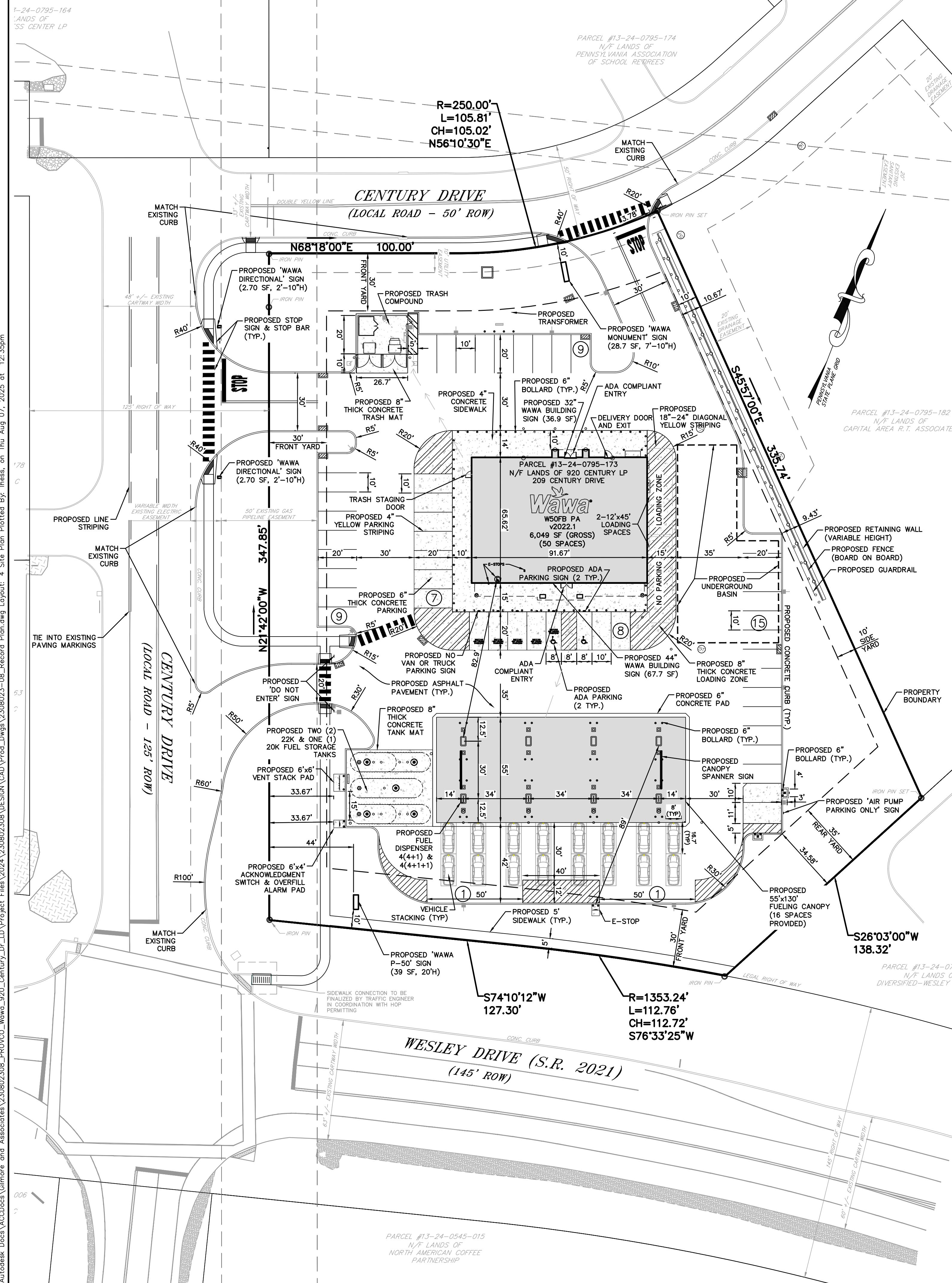
DATE: 04/21/2025

SCALE: 1"=30'

DRAWN BY: LEH

CHECKED BY: ESC

SHEET NO.: 3 OF 31



WAIVERS REQUESTED:

THE FOLLOWING WAIVERS ARE REQUESTED FROM CHAPTER §192 OF THE CODE OF ORDINANCES TOWNSHIP OF LOWER ALLEN, CUMBERLAND COUNTY, PA. ADOPTED 07/13/2009

- FROM THE PROVISIONS OF §192-35.A(2), WHICH STATES THAT A FINAL PLAN SHALL ONLY BE SUBMITTED AFTER A PRELIMINARY PLAN HAS BEEN APPROVED BY THE BOARD OF COMMISSIONERS, IF A PRELIMINARY PLAN IS REQUIRED, A WAIVER IS REQUESTED FROM PURSUING SEPARATE STAGES OF APPROVAL FOR PRELIMINARY AND FINAL LAND DEVELOPMENT PLANS. APPLICANT REQUESTS OBTAINING COMBINED PRELIMINARY/FINAL LAND DEVELOPMENT PLAN APPROVAL. THE PLANS ARE DESIGNED TO FINAL PLAN STANDARDS AND THE APPLICANT SHALL ABIDE BY ALL TOWNSHIP REQUIREMENTS.
- FROM THE PROVISIONS OF §192-58.C(5).a, WHICH STATES THAT AN AVERAGE OF ONE STREET TREE SHALL BE REQUIRED FOR EVERY 50 FEET OF DISTANCE ALONG THE STREET RIGHT-OF-WAY LINE ON EACH AFFECTED SIDE OF THE STREET. A WAIVER IS REQUESTED FROM PROVIDING STREET TREES ALONG THE WESTERN SIDE OF THE PROPERTY, ALONG THE CENTURY DRIVE RIGHT-OF-WAY DUE TO MULTIPLE EXISTING UTILITY EASEMENTS THAT RESTRICT IMPROVEMENTS.
- FROM THE PROVISIONS OF §192-58.E(10), WHICH STATES THAT PLANTING ISLANDS AND LONGITUDINAL PLANTING BEDS SHALL BE DESIGNED TO COLLECT STORMWATER RUNOFF FROM ADJACENT PAVED PARKING AREAS. A WAIVER IS REQUESTED FROM PROVIDING PLANTING ISLANDS DESIGNED TO COLLECT STORMWATER RUNOFF. DUE TO THE NATURE OF THE SITE, IT IS NOT FEASIBLE TO HAVE PLANTING ISLANDS COLLECT STORMWATER RUNOFF. INLETS ARE PROVIDED AT LOW SPOTS ALONG THE CURB WHICH PIPE THE STORMWATER RUNOFF TO THE PROPOSED UNDERGROUND STORMWATER FACILITY.
- FROM THE PROVISIONS OF §192-59.C(2), WHICH STATES THAT EACH PARKING SPACE ADJACENT TO AN ISLAND AT THE END OF A PARKING ROW SHALL HAVE AN ADDITIONAL TWO FEET OF PAVING PROVIDED IN ADDITION TO THE REQUIRED PARKING SPACE WIDTH TO ALLOW ACCESS TO THE VEHICLE. A WAIVER IS REQUESTED FROM PROVIDING AN ADDITIONAL TWO FEET OF PAVING FOR EACH PARKING SPACE ADJACENT TO A PARKING ISLAND DUE TO SITE LIMITATIONS/CONSTRAINTS. ALL PROPOSED PARKING SPACES ARE TEN FEET WIDE, WHICH IS ONE ADDITIONAL FOOT OF PAVING FROM THE REQUIRED NINE FOOT WIDTH.

THE FOLLOWING WAIVERS ARE REQUESTED FROM LOWER ALLEN TOWNSHIPS STORMWATER MANAGEMENT ORDINANCE, DATED 08-22-2022:

- From the provisions of §184-14.A.(1), which states that the post-development total runoff volume shall not be increased for all storms equal to or less than the two-year, twenty-four-hour storm.

A WAIVER IS REQUESTED TO PERMIT AN INCREASE IN THE POST-DEVELOPMENT TOTAL RUNOFF, DUE TO THE PRESENCE OF HIGH-RISK KARST GEOLOGY. INFILTRATION IS NOT FEASIBLE. AN MRC BASIN IS PROPOSED TO SATISFY THE PADEP VOLUME CONTROL REQUIREMENTS.

LEGEND:

EXISTING PROPERTY BOUNDARY	LEGAL RIGHT-OF-WAY
EXISTING EDGE OF PAVEMENT	ULTIMATE RIGHT-OF-WAY
EXISTING IRON PIN/STAKE	
EXISTING EASEMENT	
	PROPOSED CONCRETE

SPECIAL EXCEPTIONS APPROVED BY ZHB ON FEBRUARY 20, 2025:

THE FOLLOWING SPECIAL EXCEPTIONS HAVE BEEN APPROVED FROM CHAPTER §220 OF THE CODE OF ORDINANCES TOWNSHIP OF LOWER ALLEN, CUMBERLAND COUNTY, PA. ADOPTED 07/13/2009

- FROM THE PROVISIONS OF §220-241, WHICH STATES THAT A SPECIAL EXCEPTION MAY BE AUTHORIZED TO REDUCE THE NUMBER OF OFF-STREET PARKING SPACES, PROVIDED APPLICANT CAN JUSTIFY THE REDUCTION AND PROVIDE ADEQUATE PARKING FACILITIES.

A SPECIAL EXCEPTION HAS BEEN APPROVED FOR THE REDUCTION OF PARKING SPACES FROM THE REQUIRED 109, TO THE PROPOSED 50 PARKING SPACES. PROVIDED AS JUSTIFICATION ARE TRAFFIC COUNTS AND ANALYSIS OF EXISTING WAWA LOCATIONS WITH SIMILAR PARKING FACILITIES.

- FROM THE PROVISIONS OF §220-269.0(9), WHICH STATES THAT A SPECIAL EXCEPTION SHALL EXPIRE IF THE APPLICANT FAILS TO OBTAIN A ZONING PERMIT WITHIN 12 MONTHS FROM THE DATE OF THE BOARD'S APPROVAL.

PER THE PROVISIONS OF §220-269.0(9), WHICH STATE THAT THE BOARD MAY EXTEND APPROVAL; AN EXTENSION HAS BEEN APPROVED FOR AN ADDITIONAL PERIOD OF ONE YEAR, FOR A TOTAL AUTHORIZED TWO YEAR TIME LIMITATION. THE SPECIAL EXCEPTION SHALL EXPIRE ON FEBRUARY 20, 2027.

SIGNAGE TABLE

REQUIRED/PERMITTED	PROVIDED
MAX. NUMBER	1 SIGN/STREET FRONTRAGE
MAX. SIGN AREA	40 SF
MAX. SIGN HEIGHT	20 FT
MIN. SIGN SETBACK(FROM ROW)	10 FT
MIN. SIGN SETBACK(TO SIDE/REAR)	5 FT
BUILDING MOUNTED	N/S
MAX. NUMBER	1.5 SF/LF BLDG WALL (138 SF)
MAX. SIGN AREA	67.7 & 36.9 SF
MAX. SIGN HEIGHT	BLDG. HEIGHT
DIR. MOUNTED	N/S
MAX. NUMBER	2 SIGNS
MAX. SIGN AREA	4 SF
MAX. SIGN HEIGHT	3.5 FT
CANOPY MOUNTED	25% (0.675 SF)
MAX. NUMBER	N/S
MAX. SIGN AREA	14% (0.38 SF)
CANOPY SPANNER	N/S
MAX. NUMBER	1 SIGN
MAX. AREA	9.02 SF
N/S = NO STANDARD	2 SIGNS
	7.84 SF

WETLAND CERTIFICATION

I, ERIC S. CLASE, A REGISTERED PROFESSIONAL ENGINEER OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THAT THE PROJECT SITE DOES NOT DISTURB ANY WETLANDS.

(REGISTERED PROFESSIONAL ENGINEER)

PF-55713-F (REGISTRATION NUMBER)

OWNER'S CERTIFICATION OF INTENT

ON THE _____ DAY OF _____, 20_____, BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC, RESIDING IN PENNSYLVANIA, PERSONALLY APPEARED PROVCO PINEGOOD CENTURY, LLC C/O CHARLES COKER, WHO ACKNOWLEDGED HIMSELF TO BE THE OWNER OF SAID PROPERTY, AND BEING AUTHORIZED TO DO SO, HE STATED THAT THE PROPERTY IS OWNED BY PROVCO PINEGOOD CENTURY, LLC AS THE DESIGNATED LAND, THAT ALL NECESSARY APPROVALS OF THE PLAN HAVE BEEN OBTAINED AND IS ENDORSED THEREON, AND THAT HE DESIRES THAT THE FOREGOING PLAN BE RECORDED ACCORDING TO LAW.

BY HIS AUTHORIZED SIGNATORY, THIS _____ DAY OF _____, 20_____. ATTEST:

PROVCO PINEGOOD CENTURY, LLC

OWNER / AUTHORIZED REPRESENTATIVE

WITNESS MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20_____. (NOTARY PUBLIC)

MY COMMISSION EXPIRES THE _____ DAY OF _____, 20_____. (NOTARY PUBLIC)

THE PROPOSED STORMWATER MANAGEMENT SYSTEM SHALL BE INSTALLED AND MAINTAINED BY THE PROPERTY OWNER. CHANGES OR ALTERATION TO THE SYSTEM SHALL BE COMPLETED WITHIN 12 MONTHS OF A REVISED PLAN BY THE TOWNSHIP AND APPROVED BY THE CONSERVATION DISTRICT. THE PLAN MUST BE APPROVED BY THE TOWNSHIP AND A REVISED E&S PLAN MUST BE SUBMITTED TO THE CONSERVATION DISTRICT FOR A DETERMINATION OF ADEQUACY.

PROVCO PINEGOOD CENTURY, LLC

DATE

CHARLES COKER SR. DEVELOPMENT MANAGER

(REGISTERED PROFESSIONAL SURVEYOR)

(REGISTRATION NUMBER)

APPROVAL OF TOWNSHIP

APPROVED BY THE BOARD OF COMMISSIONERS OF LOWER ALLEN TOWNSHIP, COUNTY OF CUMBERLAND, COMMONWEALTH OF PENNSYLVANIA, ON THE _____ DAY OF _____, 20_____. (PRESIDENT)

SECRETARY



LOCATION MAP

SCALE: 1"=1000'

ZONING TABLE: (CHAPTER 200, ARTICLE IX.)

ZONING DISTRICT: C-2 - GENERAL COMMERCIAL DISTRICT
PRINCIPLE PERMITTED USE: NAICS NO. 44-45 - RETAIL TRADE
SUBSECTION NAICS NO. 457110 - GASOLINE STATION WITH CONVENIENCE STORE

REQUIRED/PERMITTED	PROVIDED
MIN. LOT AREA	2.35 AC
MIN. LOT WIDTH	205.81 FT
MIN. REAR YARD	30 FT
MIN. SIDE YARD	10 FT
MAX. IMPERVIOUS SURFACE	70% (1.65 AC)
MAX. BUILDING HEIGHT	75 FT
MIN. PARKING SETBACK	5 FT

* PER §200-60, THERE SHALL BE NO MINIMUM LOT AREA. LOT AREA SHALL BE BASED UPON REQUIRED SETBACKS, IMPERVIOUS COVERAGE, OFF-STREET PARKING, AND OTHER APPLICABLE CRITERIA AS SET FORTH IN THIS CHAPTER.

PARKING CALCULATION:

PER ZONING §220-239 OFF-STREET PARKING FACILITIES REQUIREMENTS:

CONVENIENCE STORE	1 SPACE/15 SF, GFA
FAST FOOD ESTABLISHMENT	1 SPACE/30 SF, GFA

FUEL SALES:	1 SPACE/3 FUEL PUMPS
LOADING/UNLOADING SPACES	2 SPACES/6,001 TO 20,000 GROSS FLOOR AREA

3,614 SF X 1 SPACE / 150 SF, GFA	= 25 SPACES
2,425 SF X 1 SPACE / 30 SF, GFA	= 83 SPACES
+ 8 PUMPS X 1 SPACE / 3 PUMPS	= 3 SPACES
	TOTAL REQUIRED SPACES
	108 SPACES

TOTAL PROVIDED SPACES 50 SPACES*

STANDARD SPACES PROPOSED 48 SPACES

ADA SPACES PROPOSED 2 SPACES

LOADING/UNLOADING SPACES 2 SPACES

* SPECIAL EXCEPTION APPROVED AS NOTED BELOW.

STACKING CALCULATION

PER ZONING §220-240 DRIVE-THROUGH SERVICE FACILITY STACKING DISTANCE REQUIREMENTS:

VEHICULAR FUELING PUMPS	2 VEHICLE LENGTHS PER PUMP
	NUMBER OF PUMPS = 8 PUMPS

2 VEHICLES X 8 PUMPS = 16 SPACES

920 CENTURY DRIVE WAWA

LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

PROJECT NO.: 2308023

WAWA STORE NO. 8256

OWNERS INFO:

PROVCO PINEGOOD CENTURY, LLC

795 EAST LANCASTER AVE.

VILLANOVA, PA 19085

MUNICIPAL FILE NO.: 2025-03

TAX MAP PARCEL NO.: 13-24-0795-173

TOTAL AREA: 2.35 AC.

TOTAL LOTS: 1

DATE: 04/21/2025

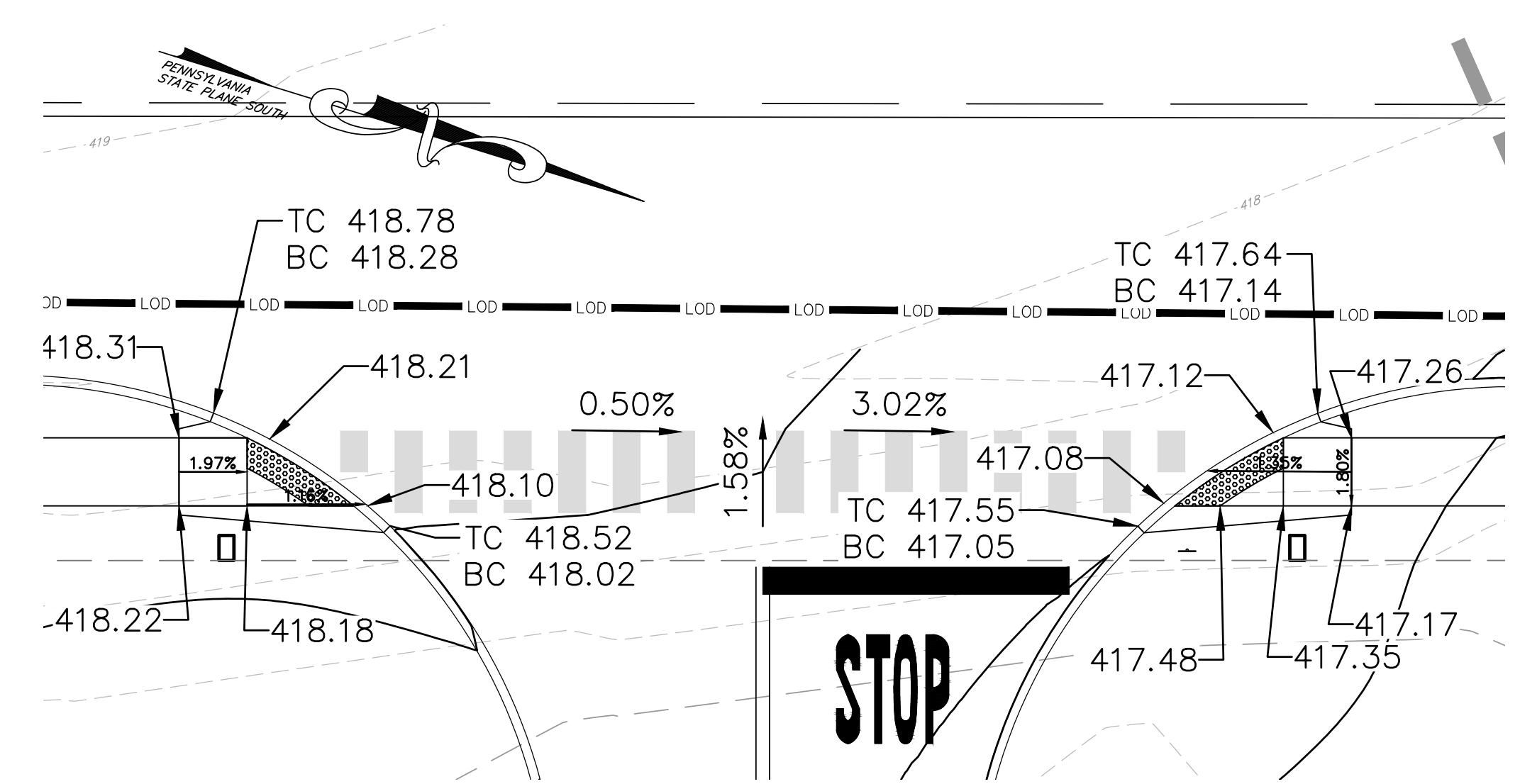
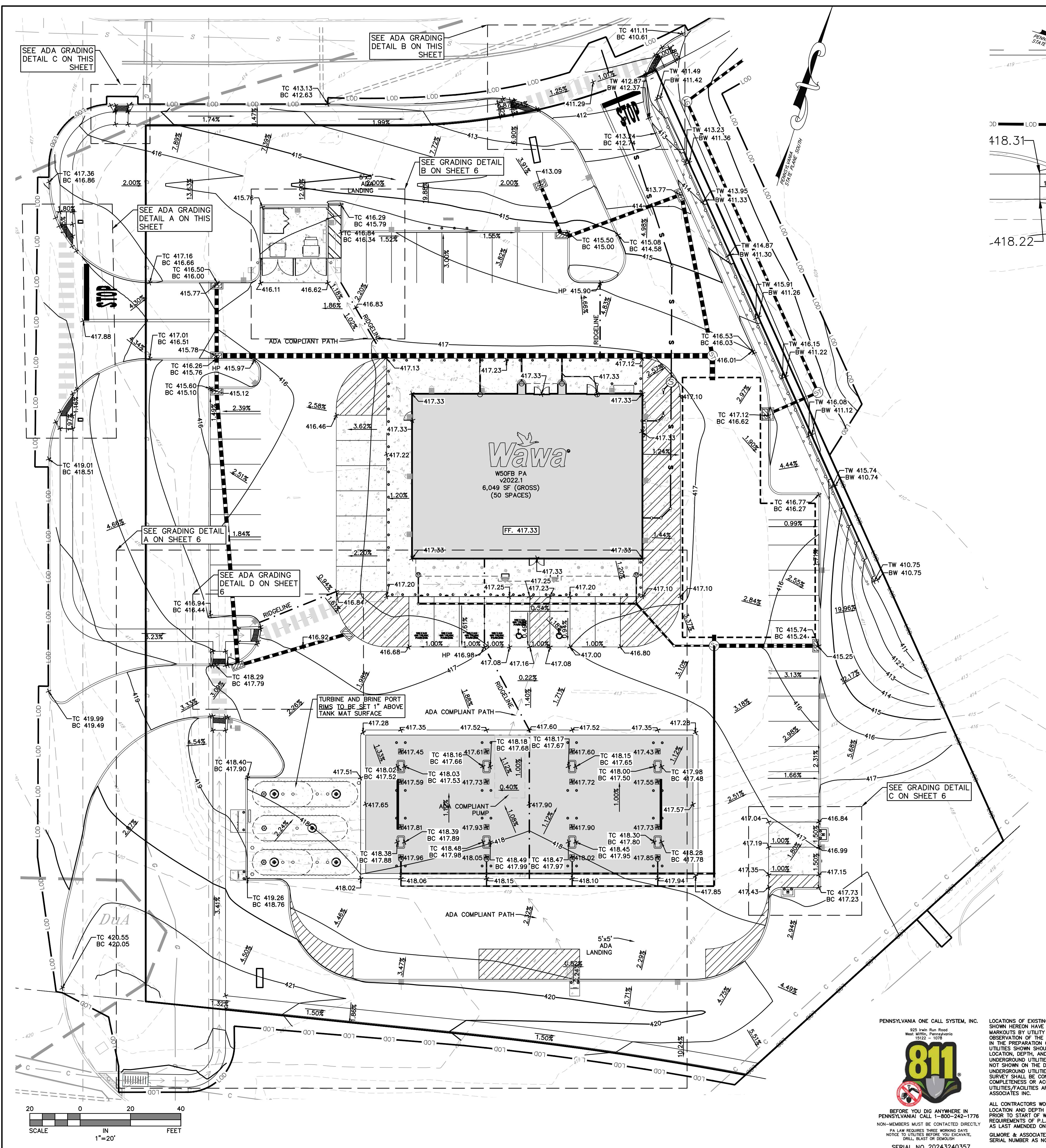
SCALE: 1"=30'

DRAWN BY: LEH

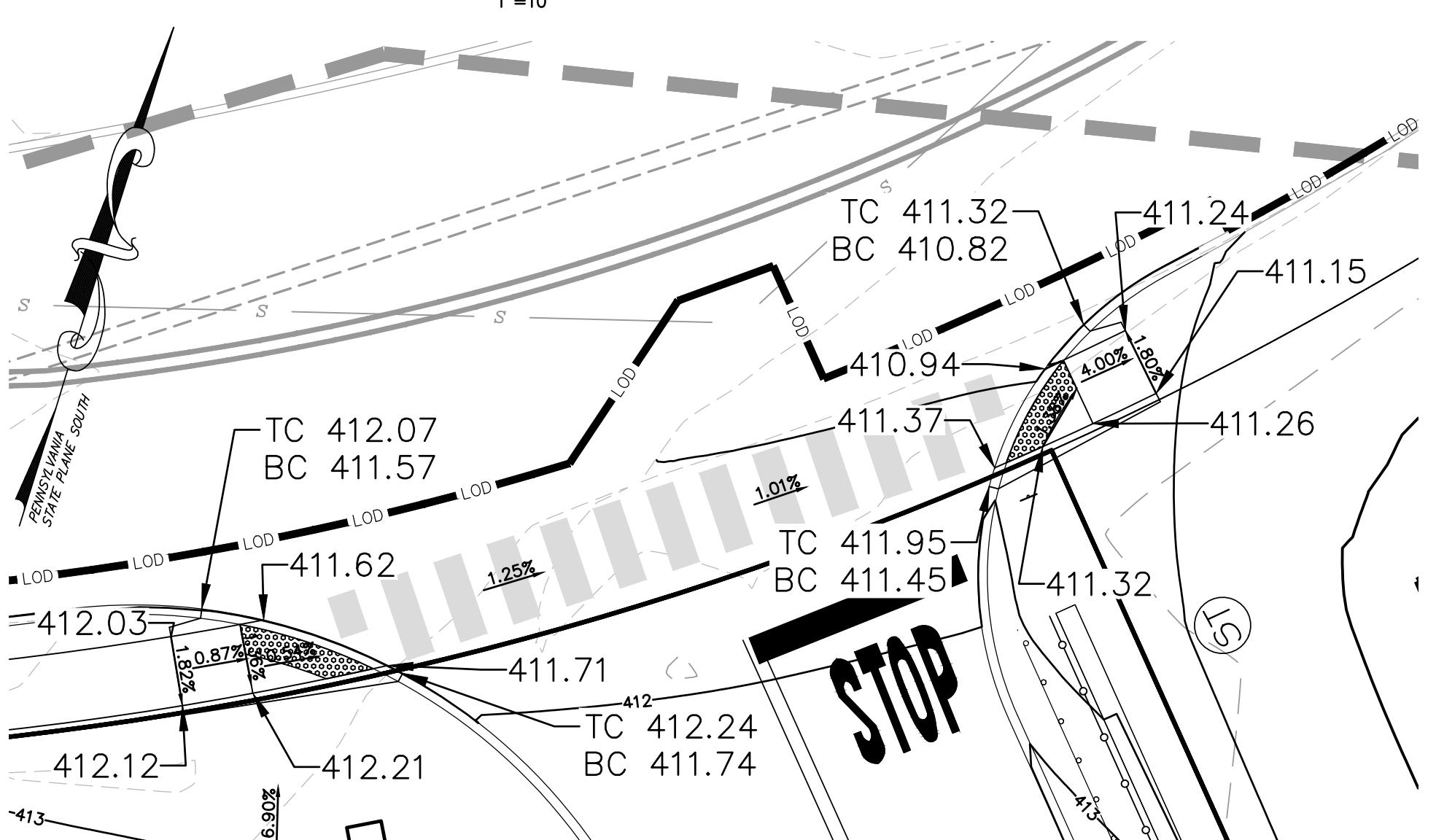
CHECKED BY: ESC

SHEET NO.: 4 OF 31

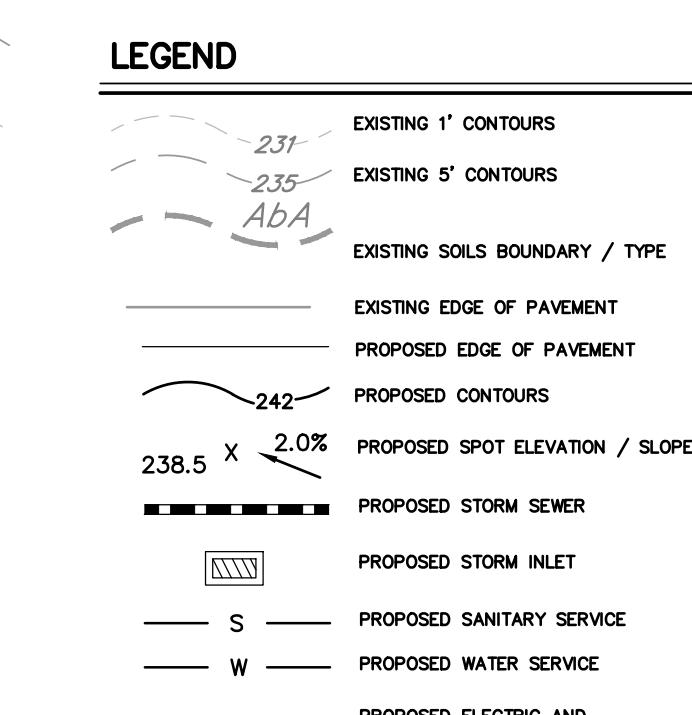
NOT APPROVED FOR CONSTRUCTION



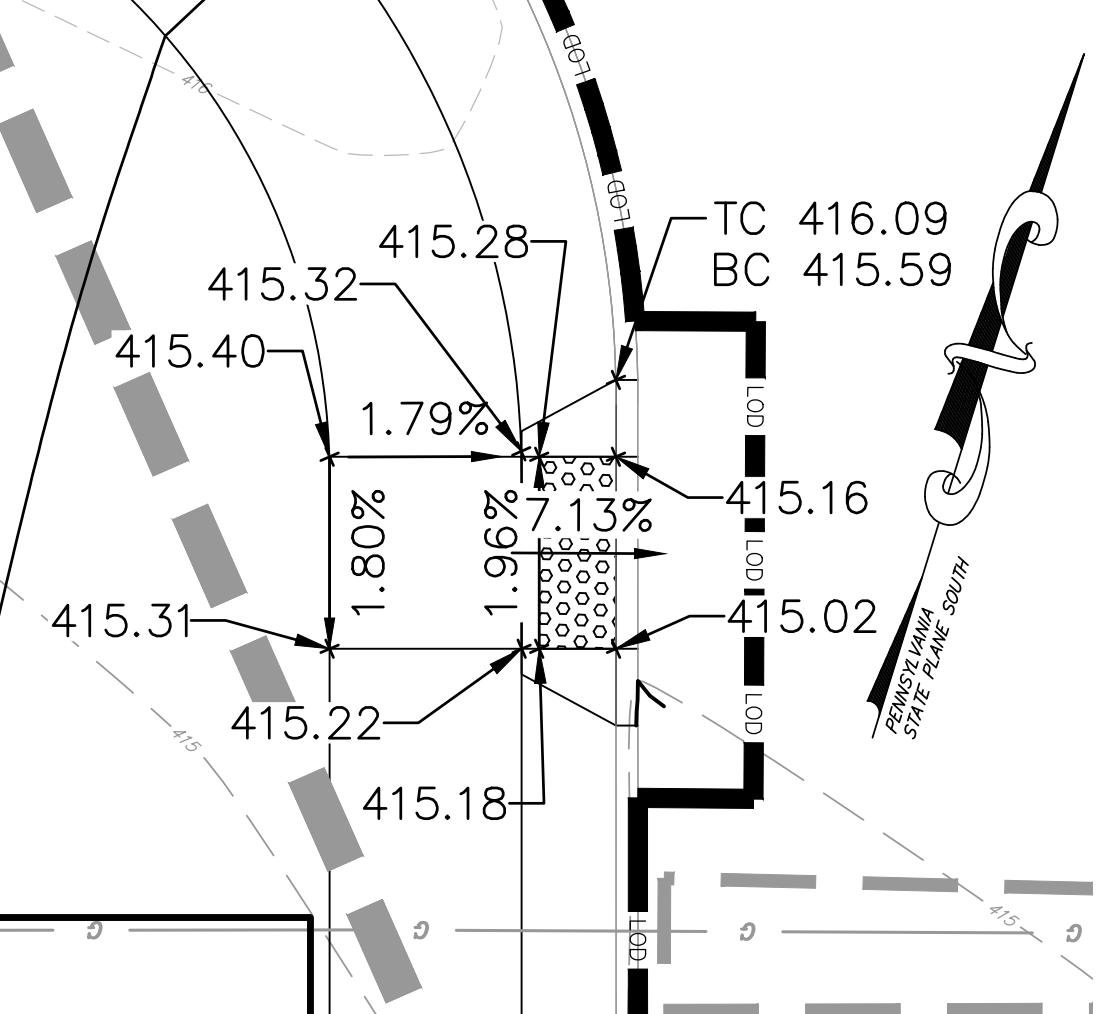
ADA GRADING DETAIL A



ADA GRADING DETAIL B



**CUT-FILL QUANTITIES.
ESTIMATED QUANTITIES NOT FOR BIDDING**



ADA GRADING DETAIL C



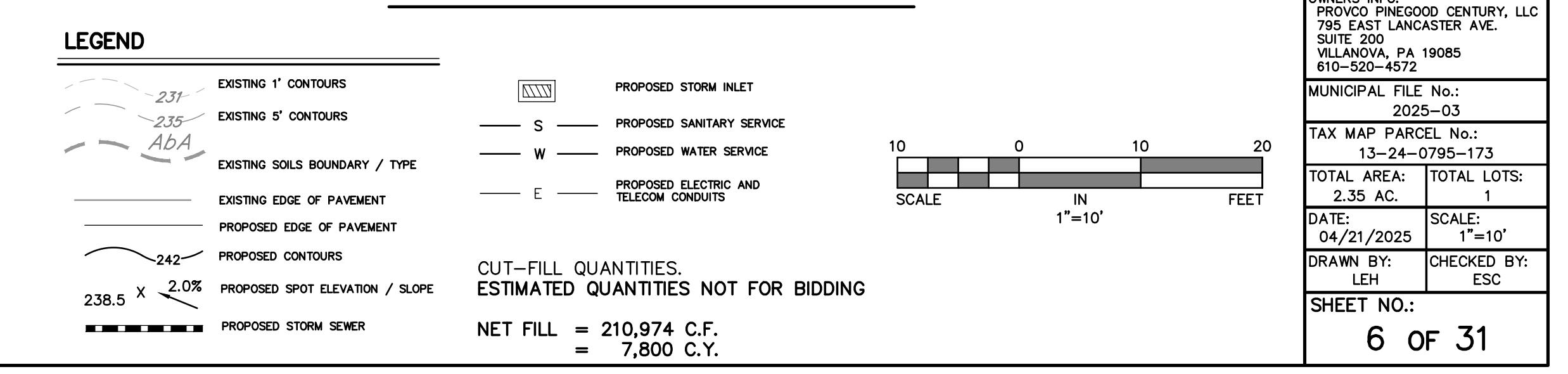
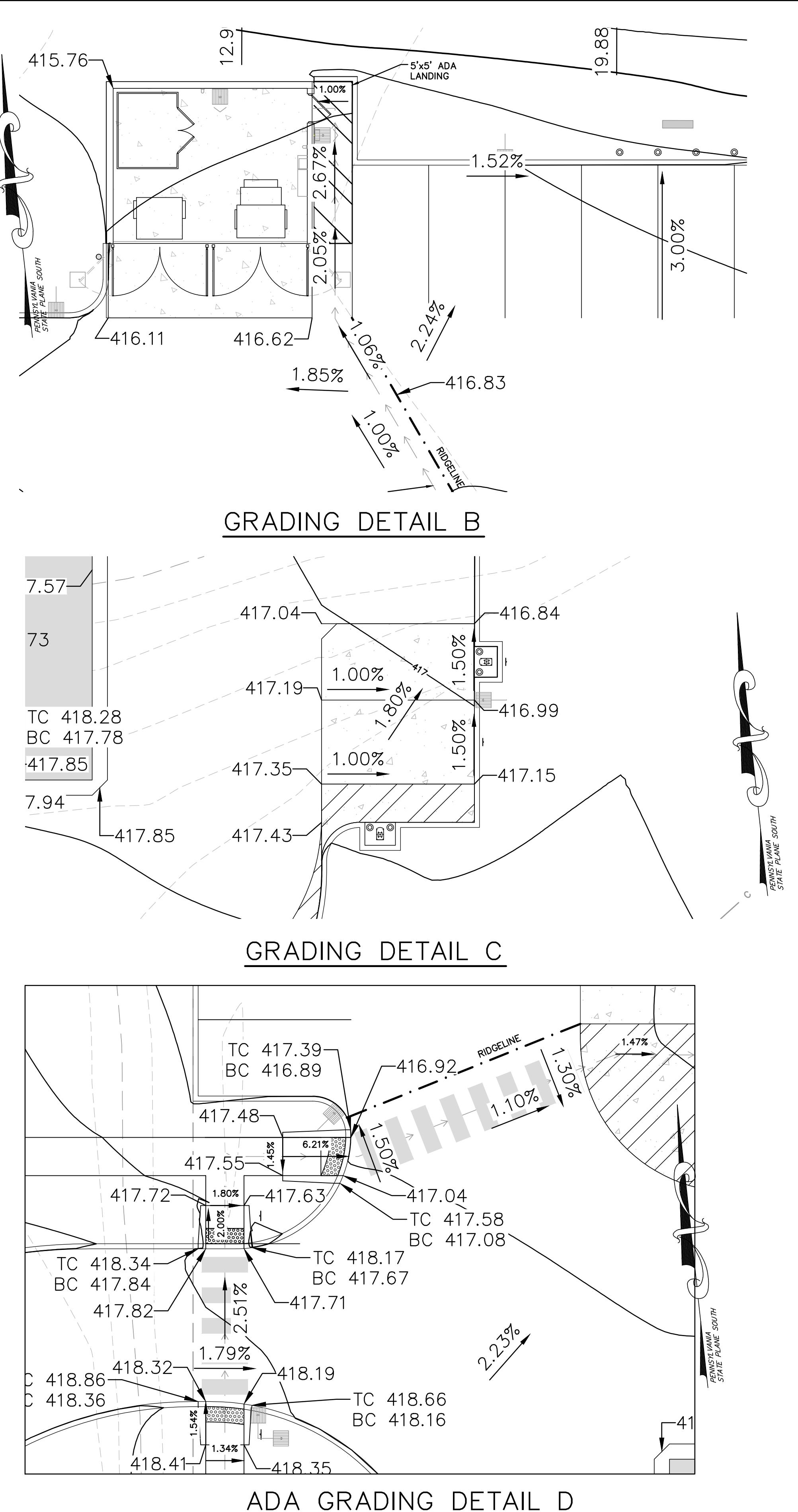
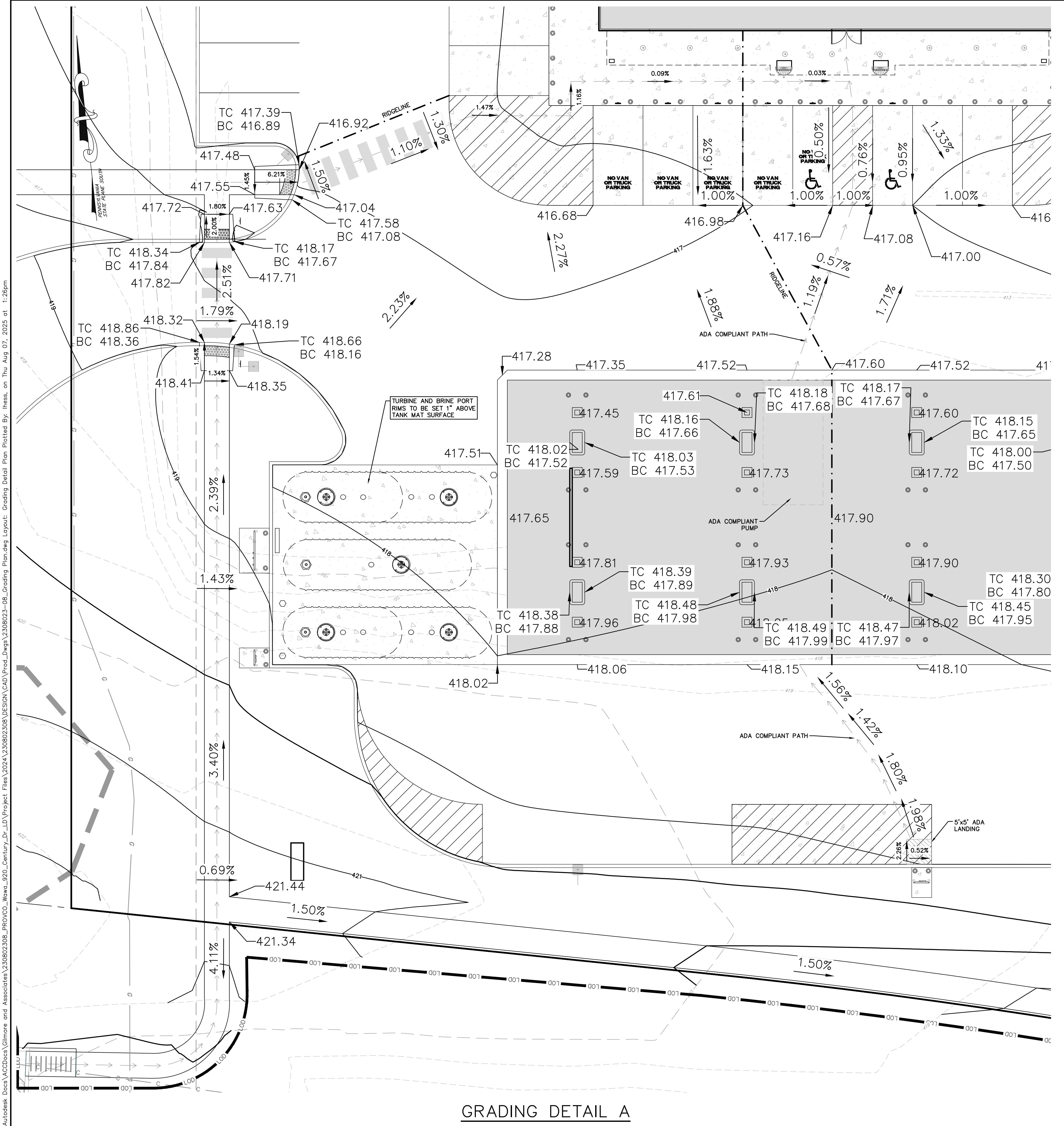
The logo for Pennsylvania One Call System, Inc. It features a large, stylized '811' in yellow with a black outline. Below the '11' is a grey shovel icon. At the bottom of the '811' is a circular emblem with a red border. Inside the circle, the words 'PENNSYLVANIA ONE CALL SYSTEM, INC.' are written at the top, and 'EXCAVATE SAFELY BEFORE YOU EXCAVATE' is written in the center. Below this, there is a small illustration of a shovel and a pickaxe.

NS OF EXISTING UNDERGROUND UTILITIES/FACILITIES
HEREON HAVE BEEN DEVELOPED FROM RECORDS, FIELD
TS BY UTILITY OWNERS, AND/OR ABOVE-GROUND
ATION OF THE SITE. NO EXCAVATIONS WERE PERFORMED
PREPARATION OF THESE DRAWINGS; THEREFORE ALL
S SHOWN SHOULD BE CONSIDERED APPROXIMATE IN
N, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER
ROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE
OWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF
ROUND UTILITIES/FACILITIES AT THE TIME OF FIELD
SHALL BE CONSIDERED TRUE AND ACCURATE.
TENESS OR ACCURACY OF UNDERGROUND
/FACILITIES ARE NOT GUARANTEED BY GILMORE &
TES INC.

TRACTORS WORKING ON THIS PROJECT SHALL VERIFY
N AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES
O START OF WORK AND SHALL COMPLY WITH THE
MENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974
AMENDED ON APRIL 28, 2018 PENNSYLVANIA ACT 50.

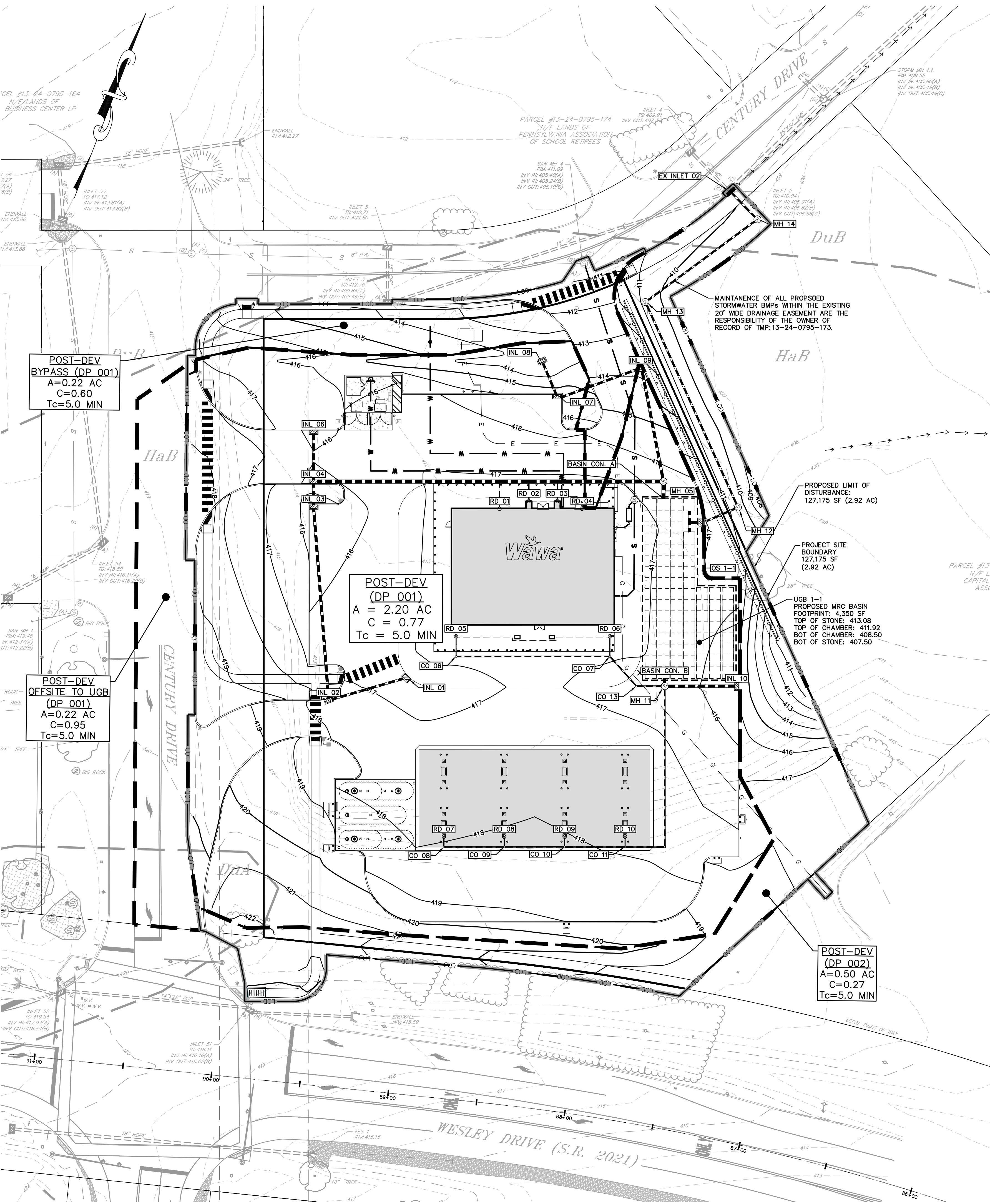
& ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL
NUMBER AS NOTED HEREON FOR DESIGN PURPOSES ONLY.

 GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES	
G & A 65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901 • (215)345-4330 • www.gilmore-assoc.com	
 <p>DATE: 08/07/25</p>	
<p>920 CENTURY DRIVE WAWA</p> <p>LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA</p> <p>GRADING PLAN</p>	
<p>PRELIMINARY-FINAL LAND DEVELOPMENT</p>	
<p>GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES</p>	
<p>PROJECT No.: 2308023</p>	
<p>WAWA STORE No. 8256</p>	
<p>OWNERS INFO: OWNERS: PINEGOOD CENTURY, LLC 795 EAST LANCASTER AVE. SUITE 200 610-520-4572 19085</p>	
<p>MUNICIPAL FILE No.: 2025-03</p>	
<p>TAX MAP PARCEL No.: 13-24-0795-173</p>	
<p>TOTAL AREA: 2.35 AC.</p>	
<p>TOTAL LOTS: 1</p>	
<p>DATE: 04/21/2025</p>	
<p>SCALE: 1" = 20'</p>	
<p>DRAWN BY: LEH</p>	
<p>CHECKED BY: ESC</p>	
<p>SHEET NO.: 51</p>	
<p>OF 31</p>	



GILMORE & ASSOCIATES, INC.
 ENGINEERING & CONSULTING SERVICES
 CORPORATE HEADQUARTERS
 60 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, CT 06051 • (203) 345-4330 • www.gilmore-associates.com
 ONLY THOSE PLANS INCORPORATING THE PROFESSIONAL SEAL SHOULD
 BE CONSIDERED OFFICIALLY DRAWN AND PROFESSIONALLY PREPARED AND RELEASING THE DESIGNER ON THE DATE OF ISSUANCE. THE USE OF THESE PLANS WITHOUT THE
 CONSENT OF GILMORE & ASSOCIATES, INC. IS PROHIBITED.
 © GILMORE & ASSOCIATES, INC. ALL RIGHTS RESERVED

NOT APPROVED FOR CONSTRUCTION



RECEIVING SURFACE WATERS

THE ENTIRE PROJECT SITE AND DISTURBANCE AREA ARE LOCATED IN THE CEDAR RUN WATERSHED. RUNOFF FROM THIS SITE DRAINS TO CEDAR RUN (POA 001 & POA 002) WHICH HAVE A RECEIVING WATER CLASSIFICATION OF COLD WATER FISHES, MIGRATORY FISHES (CWF, MF), PER CHAPTER 93 OF THE PA CODE.

GENERAL PCSM PLANNING AND DESIGN:

I. STREAM INTEGRITY PRESERVATION – 8102.8(b)(1)

THE PROPOSED SCM AS PART OF THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN, HAVE BEEN PLANNED AND PROVIDED IN ORDER TO PRESERVE THE INTEGRITY OF STREAM CHANNELS, AND TO MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL, AND CHEMICAL QUALITY OF THE RECEIVING STREAMS.

II. PREVENT STORMWATER RUNOFF RATE INCREASE – 8102.8(b)(2)

THE PROPOSED POST CONSTRUCTION STORMWATER MANAGEMENT PLAN WILL PREVENT AN INCREASE IN STORMWATER RUNOFF RATES THROUGH THE USE OF STRUCTURAL SCMS.

III. MINIMIZE STORMWATER RUNOFF VOLUME INCREASE – 8102.8(b)(3)

THE PROPOSED POST CONSTRUCTION STORMWATER MANAGEMENT PLAN WILL MINIMIZE AN INCREASE IN STORMWATER RUNOFF VOLUME THROUGH THE USE OF STRUCTURAL SCMS.

IV. MINIMIZE IMPERVIOUS AREAS – 8102.8(b)(4)

THE PROPOSED DEVELOPMENT LAYOUT PROVIDES AN EFFICIENT CONFIGURATION OF IMPERVIOUS SURFACE FOR THE PROPOSED USE TO MINIMIZE IMPERVIOUS AREAS. THE PLAN ALSO DIRECTS IMPERVIOUS SURFACES AND ROOFTOPS TO VEGETATED AREAS AND STRUCTURAL SCMS.

V. MAXIMIZE DRAINAGE AND VEGETATION PROTECTION – 8102.8(b)(5)

THE EXISTING DRAINAGE FEATURES AND VEGETATION SHALL BE PROTECTED TO THE MAXIMUM EXTENT PRACTICAL. TO ACHIEVE THIS GOAL, THE AREAS ON-SITE, OUTSIDE OF THE LIMITS OF DISTURBANCE ARE SUBJECT TO THE FOLLOWING CRITERIA:

- AREAS SHALL NOT BE SUBJECT TO GRADING OR MOVEMENT OF EXISTING SOIL.
- EXISTING VEGETATION IN A HEALTHY CONDITION MAY NOT BE REMOVED, INCLUDING TREES, SHRUBS, OR WELL-ESTABLISHED MEADOW/GRASS LAND COVER.
- INVASIVE NON-NATIVE VEGETATION MAY BE REMOVED.
- PRUNING OR OTHER REQUIRED MAINTENANCE OF VEGETATION IS PERMITTED. ADDITIONAL PLANTING IS PERMITTED.
- AREAS SHALL BE PROTECTED AND DELINEATED IN THE FIELD.
- AREAS THAT ARE SUBJECT TO GRADING ARE ALSO DELINEATED ON THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN. IF ANY FUTURE GRADING OR DISTURBANCE OF THESE AREAS OCCURS, SUBSEQUENT STORMWATER MANAGEMENT MUST BE PROVIDED TO ADDRESS THE ADDITIONAL DISTURBANCE.

VI. MINIMIZE LAND CLEARING AND GRADING – 8102.8(b)(6)

IN ORDER TO MINIMIZE LAND CLEARING AND GRADING, THE AREAS BETWEEN TREE PROTECTION FENCING AND PROPERTY BOUNDARIES ARE SUBJECT TO THE FOLLOWING CRITERIA:

- AREAS SHALL NOT BE SUBJECT TO GRADING OR MOVEMENT OF EXISTING SOIL.
- EXISTING VEGETATION IN A HEALTHY CONDITION MAY NOT BE REMOVED, INCLUDING TREES, SHRUBS, OR WELL-ESTABLISHED MEADOW/GRASS LAND COVER.
- INVASIVE NON-NATIVE VEGETATION MAY BE REMOVED.
- PRUNING OR OTHER REQUIRED MAINTENANCE OF VEGETATION IS PERMITTED. ADDITIONAL PLANTING IS PERMITTED.
- AREAS SHALL BE PROTECTED AND DELINEATED IN THE FIELD.
- AREAS THAT ARE SUBJECT TO GRADING ARE ALSO DELINEATED ON THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN. IF ANY FUTURE GRADING OR DISTURBANCE OF THESE AREAS OCCURS, SUBSEQUENT STORMWATER MANAGEMENT MUST BE PROVIDED TO ADDRESS THE ADDITIONAL DISTURBANCE.

VII. MINIMIZE SOIL COMPACTION – 8102.8(b)(7)

THE LIMITS OF DISTURBANCE HAVE BEEN DELINEATED AS THE MINIMUM PRACTICAL AREAS AND ALL OTHER AREAS SHALL NOT BE DISTURBED AND ARE SUBJECT TO THE FOLLOWING CRITERIA:

- AREAS SHALL NOT SUBJECT TO GRADING OR MOVEMENT OF EXISTING SOIL.
- EXISTING VEGETATION IN A HEALTHY CONDITION MAY NOT BE REMOVED, INCLUDING TREES, SHRUBS, OR WELL-ESTABLISHED MEADOW/GRASS LAND COVER.
- INVASIVE NON-NATIVE VEGETATION MAY BE REMOVED.
- PRUNING OR OTHER REQUIRED MAINTENANCE OF VEGETATION IS PERMITTED. ADDITIONAL PLANTING IS PERMITTED.
- AREAS SHALL BE PROTECTED AND DELINEATED IN THE FIELD.

VIII. OTHER SCM CONTROLS TO MINIMIZE RUNOFF – 8102.8(b)(8)

OTHER STRUCTURAL BMPs SHALL BE UTILIZED TO PREVENT OR MINIMIZE THE GENERATION OF ADDITIONAL STORMWATER RUNOFF SUCH AS THE FOLLOWING:

MRC STORAGE SYSTEM STORMWATER CONTROL MEASURE (SCM)

INDIVIDUAL SCM SEQUENCE OF CONSTRUCTION

THE PADEP CHAPTER 102 REGULATIONS WHICH BECAME EFFECTIVE NOVEMBER 19, 2010, REQUIRE A LICENSED PROFESSIONAL OR HIS/HER DESIGNEE TO BE PRESENT ON-SITE TO OBSERVE, INSPECT, AND SIGN-OFF ON THE CRITICAL STAGES OF THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN (PCSM) IMPLEMENTATION AND FACILITY INSTALLATION. THE LICENSED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT ON-SITE FOR THE FOLLOWING CRITICAL STAGES OF THE PCSM PLAN IMPLEMENTATION:

MRC STORAGE SYSTEM STORMWATER CONTROL MEASURE (SCM)

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED, UNLESS NOTED OTHERWISE. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

AT LEAST 7 DAYS PRIOR TO START OF WORK OR EARTH DISTURBANCE ACTIVITIES, A PRE-CONSTRUCTION MEETING SHALL BE HELD INCLUDING THE OWNER, SITE CONTRACTOR, TOWNSHIP ENGINEER, CUMBERLAND COUNTY CONSERVATION DISTRICT, AND THE PLAN DESIGNER.

MRC STORAGE SYSTEM STORMWATER CONTROL MEASURE (SCM) – SEQUENCE OF INSTALLATION

PCSM NOTES

1. INSTALL ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS.

2. PRE-CONSTRUCTION EXCAVATION AND/OR EMBANKMENT CONSTRUCTION.

a) ALL EXISTING VEGETATION SHOULD REMAIN IF FEASIBLE AND SHOULD ONLY BE REMOVED IF NECESSARY FOR CONSTRUCTION.

b) CARE SHOULD BE TAKEN TO PREVENT COMPACTION OF THE BASIN BOTTOM.

c) IF EXCAVATION IS REQUIRED, CLEAR THE AREA TO BE EXCAVATED OF ALL VEGETATION, REMOVE ALL TREE ROOTS, ROCKS, AND BOULDERS OUTSIDE THE EXCAVATION AREA.

d) EXCAVATE BOTTOM OF BASIN TO ELEVATION (NEEDS TO).

e) INSTALL SURROUNDING EMBANKMENTS, INLET AND OUTLET STRUCTURES, CLEANOUTS, PERFORATED PIPING, AND

f) EMBANKMENT AREAS AND AROUND INLET AND OUTLET STRUCTURES, CLEANOUTS, PERFORATED PIPING, AND ALL OTHER NECESSARY STORMWATER STRUCTURES.

7. GEOTEXTILE AND BED AGGREGATE SHOULD BE PLACED IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION AND INSTALLATION OF STRUCTURES. GEOTEXTILE SHOULD BE PLACED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. ERECTION STRIPS OF GEOTEXTILE SHOULD OVERLAP THE EDGE OF THE INLET BY A MINIMUM OF 12 INCHES. GEOTEXTILE SHOULD BE PLACED OVER THE BED AGGREGATE IN ORDER TO PREVENT ANY RUNOFF OR SEDIMENT FROM ENTERING THE STORAGE BED. THE EDGE STRIP SHOULD REMAIN IN PLACE UNTIL ALL BASE SOILS CONTIGUOUS TO BEDS ARE STABILIZED AND VEGETATED AS THE SITE IS FULLY STABILIZED, EXCESS GEOTEXTILE ALONG BED EDGES CAN BE CUT BACK TO THE BED BOTTOM.

8. CLEAN-WASHED, UNIFORMLY GRADED AGGREGATE SHOULD BE PLACED IN THE BED IN MAXIMUM 8-INCH LIFTS. EACH LAYER SHOULD BE LIGHTLY COMPAKTED WITH CONSTRUCTION EQUIPMENT KEPT OFF THE BED BOTTOM AS MUCH AS POSSIBLE.

9. GEOTEXTILE AND AGGREGATE SHOULD BE PLACED OVER INFILTRATION BEDS IN MAXIMUM 6-INCH LIFTS. DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.

RECYCLING OR DISPOSAL OF MATERIALS

1. THE OWNER SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND DEBRIS ACCORDING WITH THE DEPARTMENT OF WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.

2. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN ON THE PROPERTY, DEMOLISHED OR EXCAVATED MATERIALS SHALL BE REMOVED FROM THE SITE AND ALL DEBRIS AND WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPROPRIATE MUNICIPAL, OR OTHER GOVERNMENTAL AGENCY CURRENT REGULATIONS. DEBRIS SHALL NOT BE PERMITTED TO ACCUMULATE ON THE JOB SITE. DUST AND DIRT SHALL BE HELD TO A MINIMUM DURING DEMOLITION, BY WETTING DOWN, AS REQUIRED, ON SITE BURNING OF MATERIALS WILL NOT BE PERMITTED. AT THE COMPLETION OF WORK, THE ENTIRE AREA INVOLVED WILL BE CLEANED AND LEFT IN A TIDY CONDITION. THE REMOVAL OF ALL DEBRIS AND WASTE MATERIALS ASSOCIATED WITH THIS PROJECT SITE SHALL BE UNDERTAKEN IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.

3. SEDIMENT REMOVED FROM CONTROL FACILITIES AS A PART OF REGULAR MAINTENANCE SHALL BE DISPOSED OF UPSLOPE OF THE CONTROL FACILITY.

THE FOLLOWING IS A LIST THAT INCLUDES, BUT THAT IS NOT LIMITED TO, THE POTENTIAL PROJECT WASTES SPECIFIC TO PCSM SCMS AND/OR PROJECT CONSTRUCTION:

- CONCRETE
- STONE, GRAVEL, AND/OR ROCK
- TOP SOIL, AND SUBSURFACE SOILS
- TREES, SHRUBS, NEEDS, VEGETATION
- MISCCELLANEOUS TRASH AND DEBRIS

SEQUENCE OF CONSTRUCTION:

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED, UNLESS NOTED OTHERWISE. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

AT LEAST 7 DAYS PRIOR TO START OF WORK OR EARTH DISTURBANCE ACTIVITIES, A PRECONSTRUCTION MEETING SHALL BE HELD INCLUDING THE OWNER, SITE CONTRACTOR, TOWNSHIP ENGINEER, CUMBERLAND COUNTY CONSERVATION DISTRICT, DESIGNATED LICENSED PROFESSIONAL ENGINEER, AND THE PLAN DESIGNER.

AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1776 FOR BURIED UTILITY LOCATIONS. DURING CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE TOWNSHIP ENGINEER'S OFFICE THREE (3) DAYS PRIOR TO THE CONSTRUCTION OF THE PROPOSED BMS STORMWATER MANAGEMENT FACILITIES.

CESSATION OF CONSTRUCTION ACTIVITIES AT LEAST FOUR (4) DAYS SHALL REQUIRE TEMPORARY STABILIZATION FOR ALL DISTURBED AREAS.

1. CLEARLY MARK THE LIMITS OF DISTURBANCE (LD) WITH SURVEY STAKES AND 48-INCH HIGH SNOW FENCE, AS APPROPRIATE, PRIOR TO THE INITIATION OF EARTH DISTURBANCE ACTIVITIES.

2. INSTALL ALL TREE PROTECTION FENCING AS SHOWN ON THE PLANS PRIOR TO INITIATION OF EARTH DISTURBANCE ACTIVITIES. TREE PROTECTION FENCING SHALL BE CHECKED DAILY AT THE BEGINNING OF THE WORK DAY. REPAIRS TO PROTECTION FENCING IN KIND SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

3. PERIMETER CONTROL MEASURES:

- INSTALL ROCK CONSTRUCTION ENTRANCE (50'-FT LENGTH)

- INSTALL COMPOST FILTER SOCKS AS SHOWN ON THE PLANS. COMPOST FILTER SOCKS SHALL BE CHECKED DAILY AT THE BEGINNING OF THE WORK DAY. REPLACEMENT SOCKS IN KIND SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY. A REPAIRS TO FILTER SOCKS SHALL BE INSTALLED WHERE FAILURE OF COMPOST FILTER SOCKS OCCURS DUE TO CONCENTRATED FLOW.

4. THE PERMITTEE MUST INFORM THE CUMBERLAND COUNTY CONSERVATION DISTRICT AND THE DEPARTMENT THAT THE APPLICABLE EROSION AND SEDIMENT CONTROL FACILITIES AS SET FORTH IN THE PCSM PLAN HAVE BEEN ERECTED AND ARE IN PLACE AND ARE FUNCTIONING PROPERLY BEFORE EARTH DISTURBANCE IN ANY AREA. EACH STEP OF THE SEQUENCE MUST BE COMPLETED PRIOR TO ADVANCING TO THE NEXT STEP.

5. EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE GENERAL SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS.

6. ALL EROSION CONTROL DEVICES SHALL BE CHECKED WEEKLY (OR DAILY IF SPECIFIED) AND AFTER EACH RUNOFF EVENT. ALL EROSION CONTROL DEVICES SHALL BE CHECKED AND INSPECTED FOR FUNCTIONING PROPERLY. REPLACEMENT, RE-GRADING, RESEEDING, REMULCHING, AND RETENING SHALL BE PERFORMED IMMEDIATELY.

7. SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PREVENT DAMAGE TO ADJACENT PROPERTY AS A RESULT OF RUNOFF OR SEDIMENT DISPLACEMENT. SPECIAL ATTENTION SHALL BE GIVEN TO FROZEN SLOPES. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE, AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.

8. LEAD AND SWALE TERRACES SHALL BE LEFT UNDISTURBED UNTIL THE PROPOSED TOPSOIL.

9. CLEAR AND SWALE TERRACES SHALL BE LEFT UNDISTURBED UNTIL THE PROPOSED TOPSOIL.

10. REMOVAL OF EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

11. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

12. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

13. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

14. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

15. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

16. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

17. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

18. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

19. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

20. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

21. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

22. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

23. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

24. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

25. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

26. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

27. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

28. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

29. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

30. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

31. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

32. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

33. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

34. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

35. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

36. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

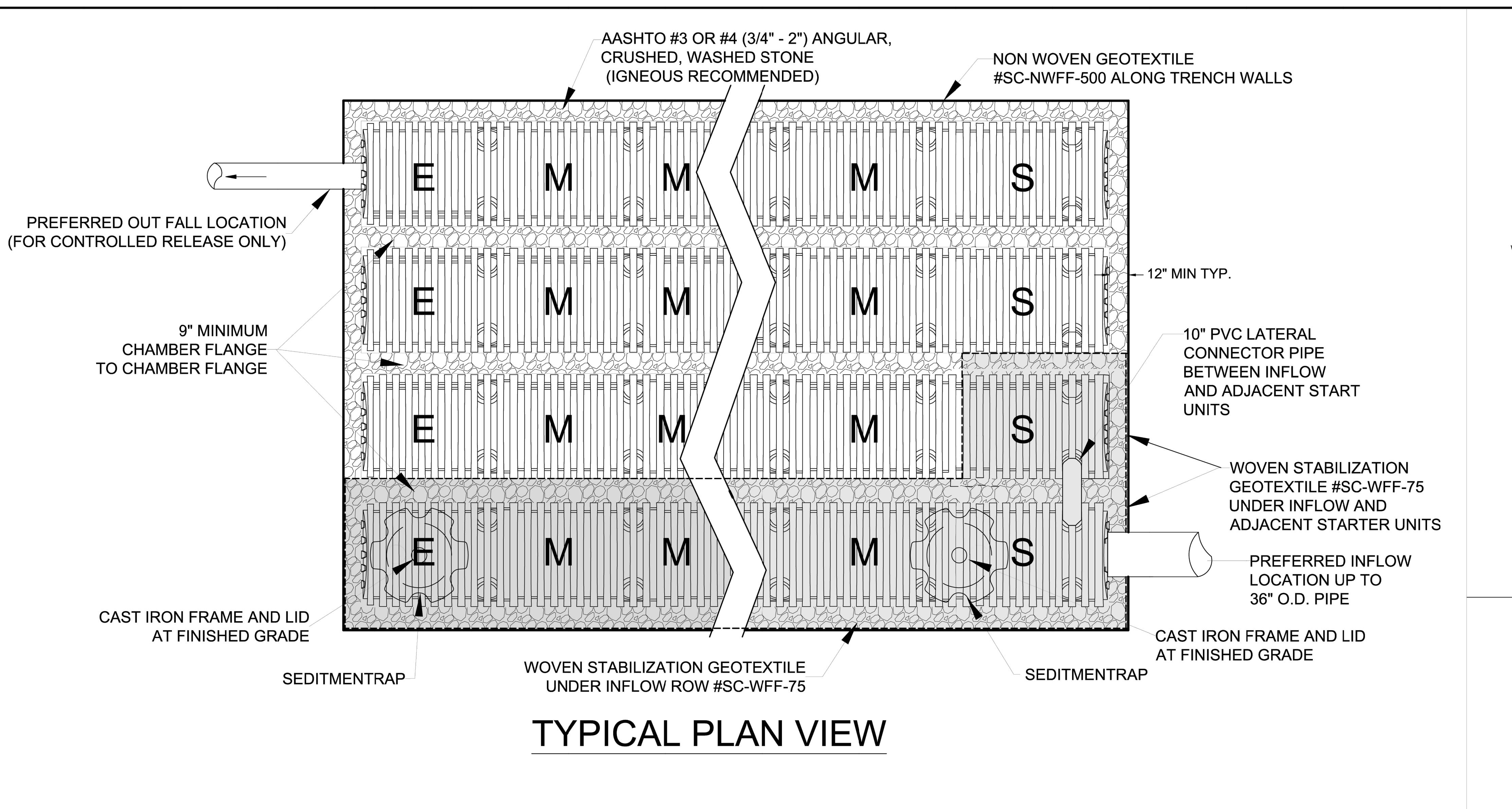
37. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

38. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

39. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

40. REMOVE ALL EXISTING VEGETATION, CLEARING, AND GRUBBING SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

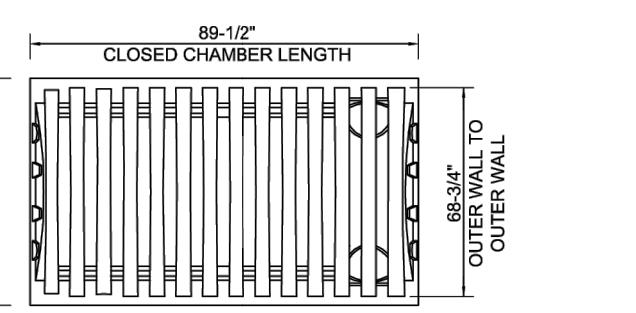
41



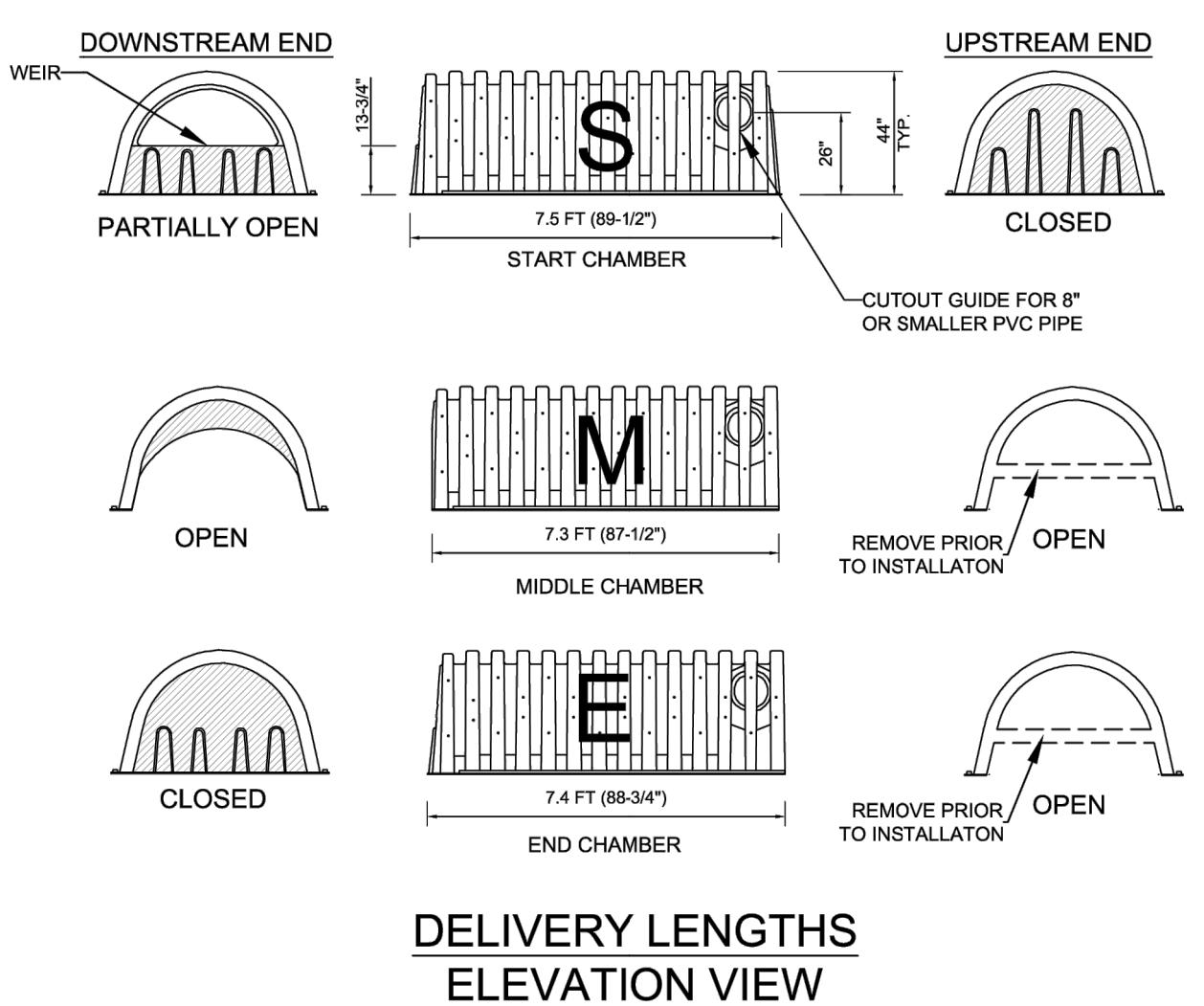
SC-44105 DIMENSIONS

(DIMENSIONS MAY VARY SLIGHTLY)

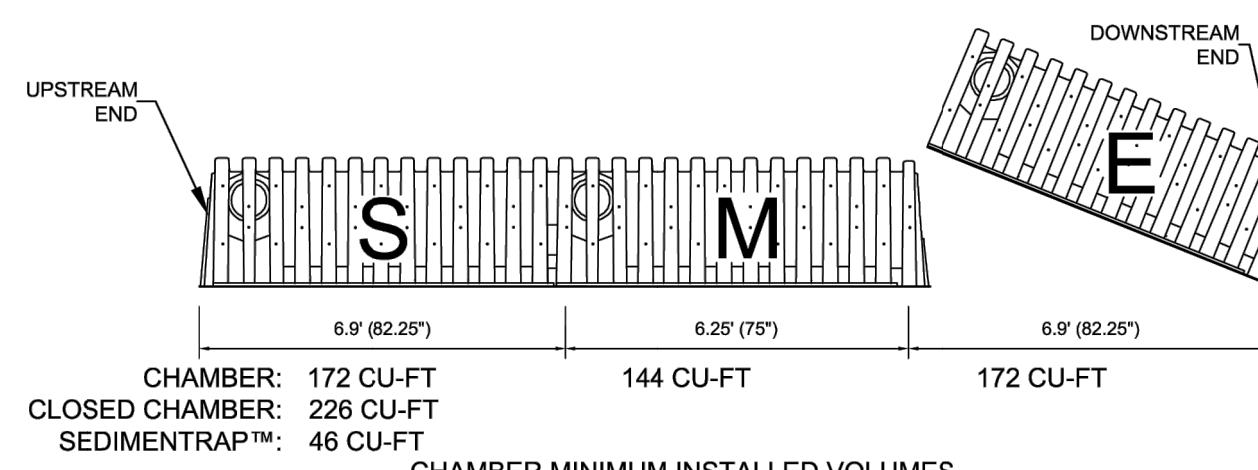
WEIGHT: 120 LBS EA.



PLAN VIEW



DELIVERY LENGTHS ELEVATION VIEW



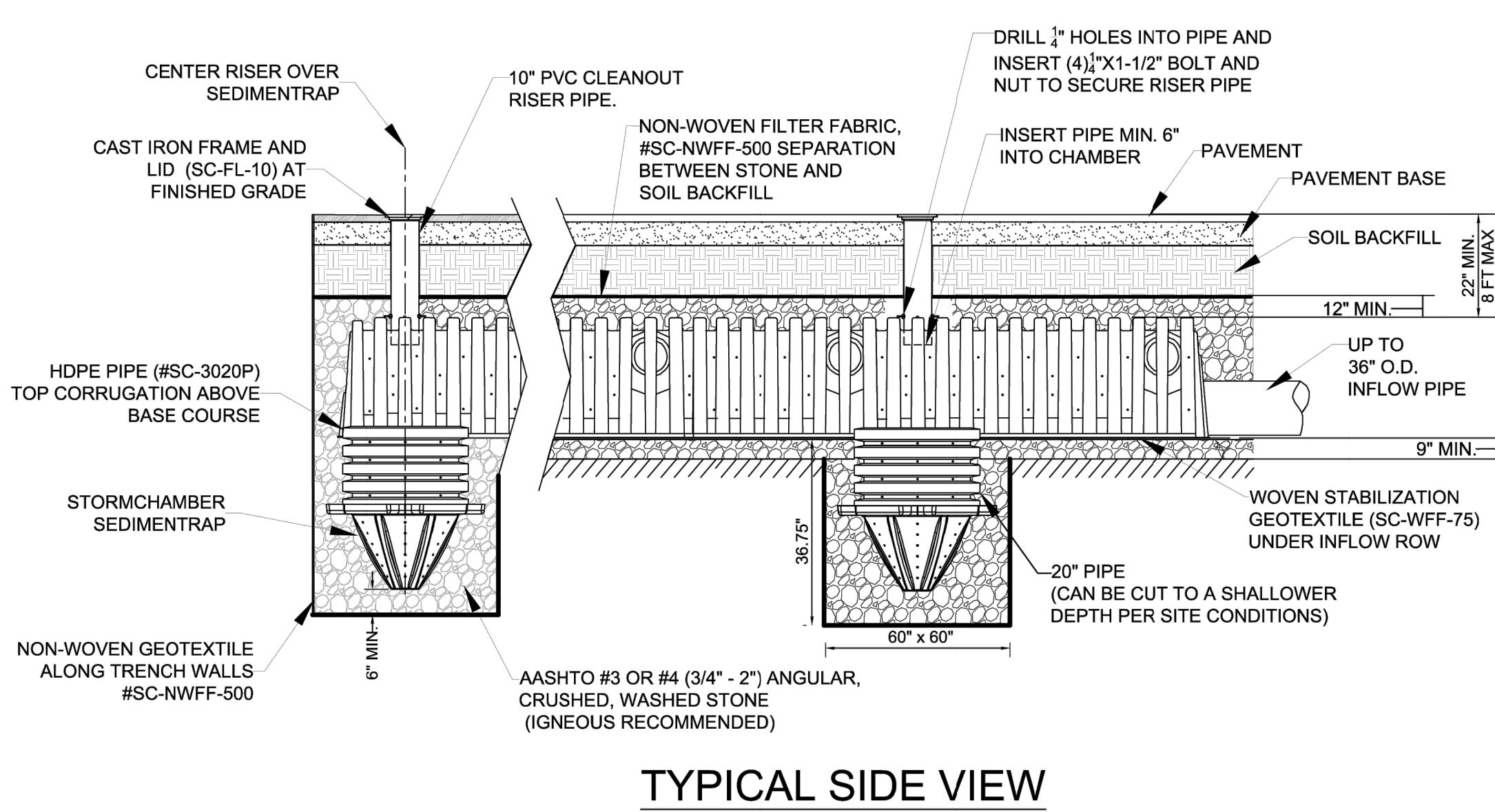
CHAMBER: 172 CU-FT
CLOSED CHAMBER: 144 CU-FT
SEDIMENTTRAP™: 46 CU-FT

CHAMBER MINIMUM INSTALLED VOLUMES

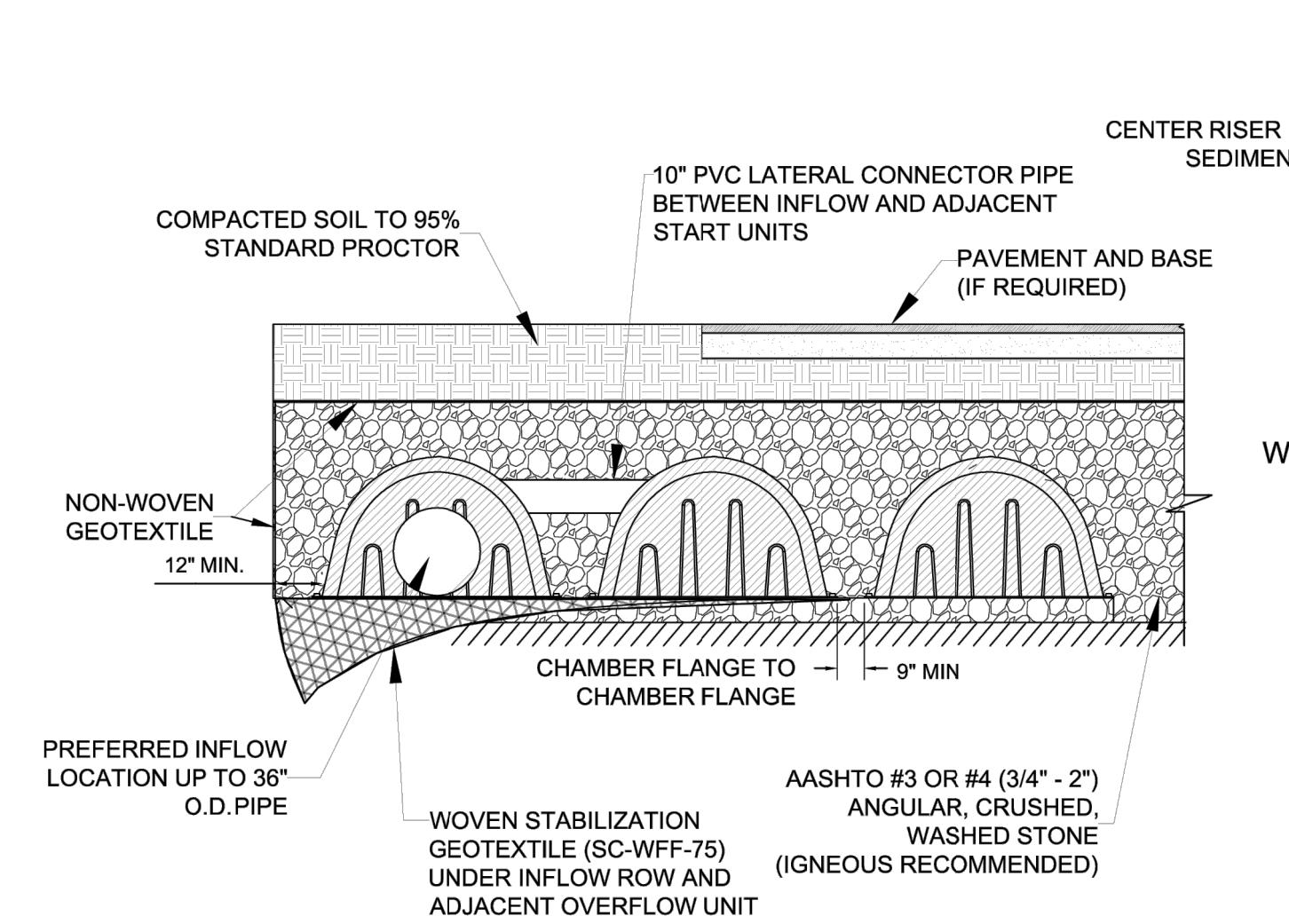
NOTES:

1. START CHAMBERS (CLOSED AT THE SIDE PORTAL END) ARE PLACED AT THE INFLOW END OF THE ROWS.
2. BEGIN PLACEMENTS WITH START CHAMBERS AND END ROWS WITH END CHAMBERS.
3. PLACE FIRST RIB OF THE NEXT CHAMBER IN THE ROW OVER THE LAST RIB OF THE PREVIOUS CHAMBER.

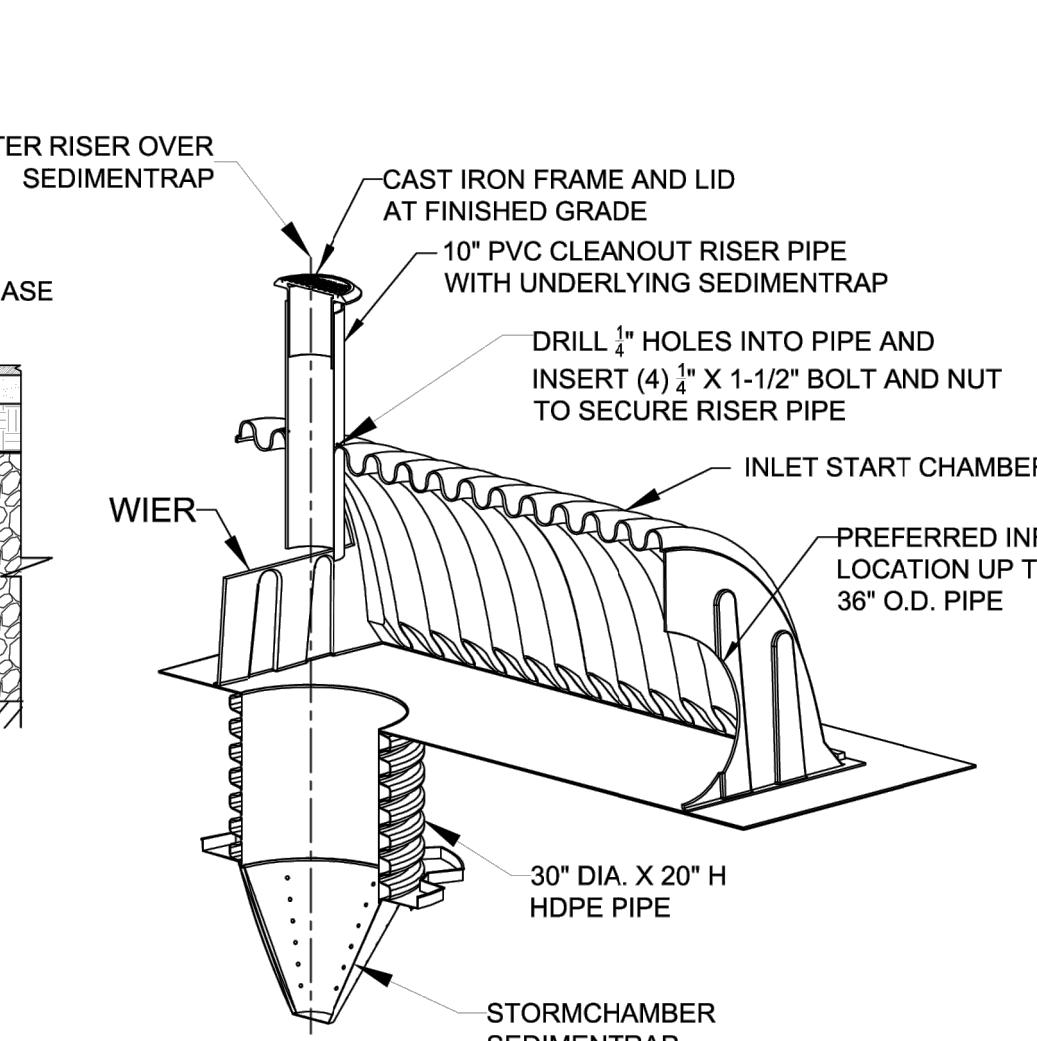
INSTALLED LENGTHS ELEVATION VIEW



TYPICAL SIDE VIEW



TYPICAL FRONT VIEW



START CHAMBER CUTAWAY

MATERIAL LIST

DESCRIPTION	STOCK CODE	QTY	UNITS
CHAMBERS AND ACCESSORIES:			
START CHAMBER	SC-44105-S-O	EACH	
MIDDLE CHAMBER	SC-44105-M-O	EACH	
END CHAMBER	SC-44105-E-O	EACH	
CLOSED CHAMBER	SC-44105-C-O	EACH	
SEDIMENTTRAP™	SC-ST	EACH	
NON-WOVEN GEOTEXTILE	SC-NWFF-500	SQ FT	
WOVEN STABILIZATION GEOTEXTILE	SC-WFF-75	SQ FT	
30" X 20" HDPE PIPE FOR SEDIMENTTRAP™	SC-3020P	EACH	
10" CAST IRON FRAME AND LID	SC-FL-10	EACH	
MATERIALS BY OTHERS:			
10" DIAMETER RISER / LATERAL PIPE	OTHERS	EACH	
IN-PLACE EXCAVATION (NO BULKING FACTOR)	OTHERS	CU FT	
STONE BACKFILL	OTHERS	CU FT	
1/4" X 1-1/2" NUT AND BOLT	OTHERS	EACH	
3" SCREWS	OTHERS	EACH	

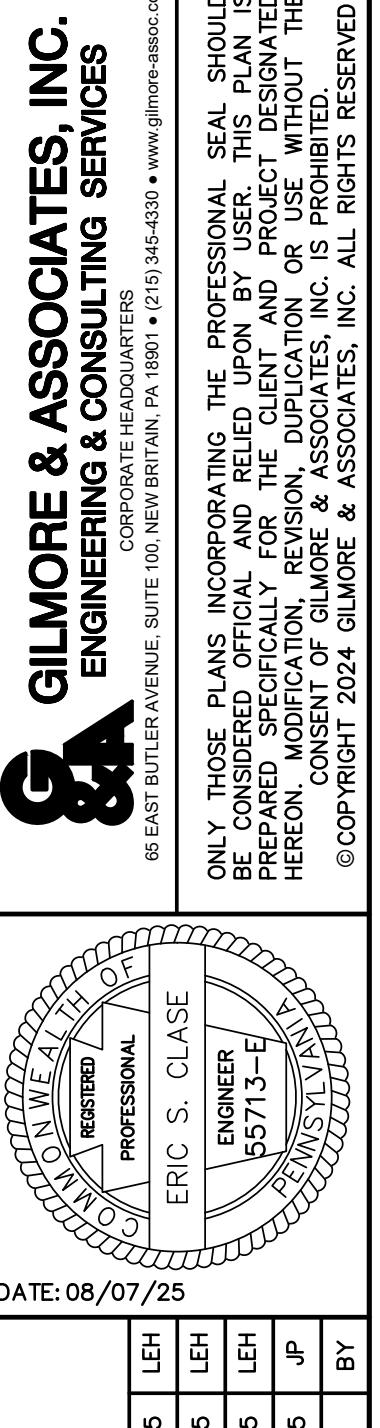
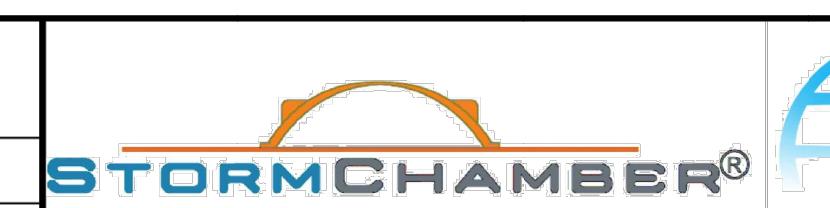
TYPICAL SC-44105 STORMCHAMBER LAYOUT
MEETS OR EXCEEDS ASTM F2922 & ASTM F2787

DRAWING# 44105-DT
REV. C DATE 11-22-2019

PROJECT NAME /
PROJECT LOCATION

PROJECT #

DATE: REVISION:
DRAWN BY:



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
60 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, CT 06051 • (203) 341-4330 • www.gilmores-associates.com
ONLY THOSE PLANS INCORPORATING THE PROFESSIONAL SEAL SHOULD
BE CONSIDERED OFFICIAL AND RELIED UPON BY THE USER. THIS PLAN IS
PREFARED SPECIFICALLY FOR THE DESIGNER AND SHOULD NOT
BE USED FOR CONSTRUCTION. THE DESIGNER IS RESPONSIBLE FOR THE DESIGN AND
THE CONSTRUCTION OF THE PROJECT. THE DESIGNER'S CONSENT IS REQUIRED
FOR ANY CHANGES MADE TO THE PLANS. GILMORE & ASSOCIATES, INC. IS PROHIBITED FROM
MAKING CHANGES TO THE PLANS.

© COPYRIGHT 2024 GILMORE & ASSOCIATES, INC. ALL RIGHTS RESERVED

PRELIMINARY-FINAL LAND DEVELOPMENT
920 CENTURY DRIVE LAND DEVELOPMENT
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA
PCSM DETAILS

G & A
GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
PROJECT No.: 2308023
NAWA STORE No. 8256
OWNERS INFO: PROVCO PINEGROVE CENTURY, LLC
795 EAST LANCASTER AVE.
SUITE 100
VILLANOVA, PA 19085
610-520-4572

MUNICIPAL FILE No.: 2025-03
TAX MAP PARCEL No.: 13-24-0795-173
TOTAL AREA: 2.35 AC. TOTAL LOTS: 1
DATE: 04/21/2025 SCALE: N.T.S.
DRAWN BY: LEH CHECKED BY: ESC
SHEET NO.: 10 OF 31

E&S PLAN PLANNING & DESIGN:

§102.4(b)(4)

THE FOLLOWING MEASURES ARE TAKEN TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE:

- ACCESS THE SITE THROUGH DESIGNATED CONSTRUCTION ENTRANCE(S).
- SEQUENCE CONSTRUCTION ACTIVITIES BY LIMITING DISTURBANCES TO A SPECIFIC TASK SUCH THAT EACH TASK IS COMPLETED BEFORE THE NEXT TASK IS INITIATED.

THE FOLLOWING MEASURES ARE TAKEN TO MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION:

- ACCESS THE SITE THROUGH DESIGNATED CONSTRUCTION ENTRANCE(S) AND EARTHWORK ONLY ALLOWED WITHIN THE LIMITS OF DISTURBANCE.

THE FOLLOWING MEASURES ARE TAKEN TO MINIMIZE SOIL COMPACTION:

- ACCESS THE SITE THROUGH DESIGNATED CONSTRUCTION ENTRANCE(S).
- EARTHWORK ONLY ALLOWED WITHIN THE LIMITS OF DISTURBANCE.
- USE OF TREADED MACHINERY WHERE PRACTICAL DURING EARTHMOVING OPERATIONS

THE FOLLOWING MEASURES ARE TAKEN TO PREVENT OR MINIMIZE GENERATION OF INCREASED STORM RUNOFF:

- PROVIDE MRC STORAGE SYSTEM STORMWATER CONTROL MEASURE (SCM)

VOLUME AND RATE OF RUNOFF FROM THE PROJECT SITE AND ITS UPSTREAM WATERSHED AREA

§102.4(b)(5)(iv)

THE ENTIRE PROJECT SITE AND DISTURBANCE AREA ARE LOCATED IN THE CEDAR RUN WATERSHED. RUNOFF FROM THIS SITE DRAINS TO SEVERAL UNNAMED TRIBUTARIES TO CEDAR RUN (POI-1 & POI-2) WHICH HAVE A RECEIVING WATER CLASSIFICATION OF COLD WATER FISHES, MIGRATORY FISHES (CWF, MF), PER CHAPTER 93 OF THE PA CODE.

LOCATION OF ALL SURFACE WATERS AND THEIR CLASSIFICATION UNDER CHAPTER 93

§102.4(b)(5)(v)

THE ENTIRE PROJECT SITE AND DISTURBANCE AREA ARE LOCATED IN THE CEDAR RUN WATERSHED. RUNOFF FROM THIS SITE DRAINS TO SEVERAL UNNAMED TRIBUTARIES TO CEDAR RUN (POI-1 & POI-2) WHICH HAVE A RECEIVING WATER CLASSIFICATION OF COLD WATER FISHES, MIGRATORY FISHES (CWF, MF), PER CHAPTER 93 OF THE PA CODE.

THESE ARE NO AREAS OF HIGH QUALITY (HQ) OR EXCEPTIONAL VALUE (EV) WATERSHEDS ON THIS PROPERTY SITE, NOR DOES ANY AREA OF THE PROPERTY FLOW TO AN HQ OR EV WATERSHED.

THERE ARE NO RIPARIAN FOREST BUFFERS ON THE PROJECT SITE.

EROSION AND SEDIMENT CONTROL BMP MEASURES:

§102.4(b)(5)(vi)

ROCK CONSTRUCTION ENTRANCE (RCE): A STONE PAD WITH THAT SHALL BE PLACED AT THE ENTRANCE OF THE PROPOSED SITE WHERE LARGE VEHICLES ENTER OR EXIT FOR CONSTRUCTION ACTIVITIES. RCE MUST BE AT LEAST 50 FEET IN LENGTH AND THE WIDTH OF THE PROPOSED ENTRANCE.

COMPOST FILTER SOCK: A FILTER FABRIC FENCE USED TO CONTROL RUNOFF FROM SMALL DISTURBED AREAS WHEN IT IS IN THE FORM OF SHEET FLOW.

ROCK FILTER OUTLET (RFO): A STONE SEDIMENT BARRIER USED TO ADDRESS PROBLEMS DUE UNANTICIPATED CONCENTRATED RUNOFF TO OTHER TYPES OF SEDIMENT BARRIERS.

INLET PROTECTION (IP): SILT SACK DEVICE INSERTED INTO TYPE 'M' AND TYPE 'C' INLETS DURING CONSTRUCTION ACTIVITIES TO PREVENT SEDIMENT DOWNSTREAM.

PUMPED WATER FILTER BAG: A GEOTEXTILE FABRIC DEVICE USED TO FILTER WATER PUMPED DURING DEWATERING OPERATIONS FROM DISTURBED AREA TO WELL-VEGETATED (GRASSY), STABLE, EROSION-RESISTANT AREAS.

EROSION CONTROL BLANKETS: EROSION PREVENTION FABRIC OR APPROVED EQUAL THAT PROTECTS DRAINE SWALES, BERMS, AND BASIN EMBANKMENTS FROM ACCELERATED EROSION DURING CONSTRUCTION ACTIVITIES.

SOIL / TOPSOIL STOCKPILE: STAGING AREA TO BE PLACED IN AN UPSTREAM LOCATION FOR TEMPORARY STORAGE OF STRUCTURAL FILL AND TOPSOIL. STRUCTURAL FILL AND TOPSOIL STOCKPILES SHALL BE MAINTAINED SEPARATE FROM EACH OTHER. TOPSOIL STOCKPILES BE SEEDED AND STABILIZED AS SOON AS POSSIBLE. SEDIMENT BARRIER SHALL BE PLACED AT THE DOWNSTREAM BASE OF EACH STOCKPILE.

CONCRETE WASHOUT: SUITABLE FACILITY SURROUNDED BY COMPOST SOCK FOR CLEANOUT OF CHUTES, MIXERS, AND HOPPERS USED FOR CONCRETE WORK TO PREVENT WATER FROM ENTERING THE SITE OR NEARBY WATERWAY.

TREE PROTECTION FENCE (TPF): SILT FENCE DEVICE USED TO PREVENT DAMAGE OR IMPACT TO EXISTING OR PROPOSED TREES DURING CONSTRUCTION ACTIVITIES.

MONITORING, INSPECTION, AND REPORTING REQUIREMENTS:

§102.4(b)(5)(x)

VISUAL INSPECTIONS

THE PERMITTER / CO-PERMITTEE(S) MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND WITHIN 24 HOURS OF EACH CONSTRUCTION ACTIVITY. THE PERMITTER / CO-PERMITTEE(S) SHALL ENSURE THAT THE RECEIPT AND ACKNOWLEDGEMENT OF THE NOTICE OF TERMINATION BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE VISUAL SITE INSPECTIONS AND REPORTS SHALL BE COMPLETED IN A FORMAT PROVIDED BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE PERMITTER / CO-PERMITTEE(S) SHALL ENSURE EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT E&S BMPs AND PCSM BMPs ARE PROPERLY CONSTRUCTED AND MAINTAINED, EFFECTIVELY, AND AS PERTAINING TO THE WATERS OF THE COMMONWEALTH. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT ON-SITE AT A REASONABLE LOCATION.

NONCOMPLIANCE REPORTING

WHERE E&S, PCSM OR PPC BMPs ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION, OR ANY OTHER TIME, THE PERMITTER / CO-PERMITTEE(S) SHALL, WITHIN 24 HOURS, CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT, BY PHONE OR PERSONAL CONTACT, FOLLOWED BY THE SUBMISSION OF A WRITTEN REPORT WITHIN 5 DAYS OF THE INITIAL CONTACT. NONCOMPLIANCE REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:

1. ANY CONDITION ON THE PROJECT SITE WHICH MAY ENDANGER PUBLIC HEALTH, SAFETY, OR THE ENVIRONMENT, OR INVOLVE INCIDENTS WHICH CAUSE OR THREATEN POLLUTION;
2. THE DATE, TIME, NAME, AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION;

NONCOMPLIANCE REPORTING

WHERE E&S, PCSM OR PPC BMPs ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION, OR ANY OTHER TIME, THE PERMITTER / CO-PERMITTEE(S) SHALL, WITHIN 24 HOURS, CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT, BY PHONE OR PERSONAL CONTACT, FOLLOWED BY THE SUBMISSION OF A WRITTEN REPORT WITHIN 5 DAYS OF THE INITIAL CONTACT. NONCOMPLIANCE REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:

1. THE DATE, TIME, NAME, AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION;
2. THE DATE, TIME, NAME, AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION;
3. STEPS BEING TAKEN TO REDUCE, ELIMINATE, AND PREVENT RECURRENT OF THE NONCOMPLIANCE; AND
4. THE DATE OR SCHEDULE OF DATES, AND IDENTIFYING REMEDIES FOR CORRECTING NONCOMPLIANCE CONDITIONS.

REDUCTION, LOSS, OR FAILURE OF THE BMPs: THE PERMITTER / CO-PERMITTEE SHALL TAKE IMMEDIATE ACTION TO RESTORE THE BMPs OR PROVIDE AN ALTERNATIVE METHOD OF TREATMENT. SUCH RESTORED BMPs OR ALTERNATIVE TREATMENT SHALL BE AT LEAST AS EFFECTIVE AS THE ORIGINAL BMP.

TERMINATION OF COVERAGE

NOTE: UPON PERMANENT STABILIZATION OF EARTH DISTURBANCE ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, THE PERMITTER / CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM. WHEN PROPERLY INSTALLED, THE PERMITTER AND / CO-PERMITTEE OF THE FACILITY MUST SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM THAT IS SIGNED IN ACCORDANCE WITH PART B, SECTION 1.C, SIGNATORY REQUIREMENTS, OF THE PERMIT. ALL LETTERS CERTIFYING DISCHARGE TERMINATION ARE TO BE SENT TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE N.O.T. FORM SHALL INCLUDE THE FOLLOWING INFORMATION: NAME, ADDRESS, AND LOCATION, OPERATOR NAME AND ADDRESS, PERMIT NUMBER, IDENTIFICATION AND PROOF OF ACKNOWLEDGMENT FROM THE PERSON(S) WHO WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE PROPERTY, AND A WRITTEN STATEMENT OF THE PERMITTER'S RECOMMENDATION FOR TERMINATION. UNTIL THE PERMITTER HAS RECEIVED WRITTEN ACKNOWLEDGMENT OF THE N.O.T., THE PERMITTER WILL REMAIN RESPONSIBLE FOR OPERATING AND MAINTAINING ALL E&S BMPs AND PCSM BMPs ON THE PROJECT SITE AND WILL BE RESPONSIBLE FOR PAYING ALL FEES ASSOCIATED WITH THE PROJECT SITE.

COMPLETION CERTIFICATE AND FINAL PLANS

WITHIN 30 DAYS AFTER THE COMPLETION OF EARTH DISTURBANCE ACTIVITIES AUTHORIZED BY THIS PERMIT, INCLUDING THE PERMANENT STABILIZATION OF THE SITE AND PROPER INSTALLATION OF PCSM BMPs IN ACCORDANCE WITH THE APPROVED PCSM PLAN, OR UPON SUBMISSION OF THE N.O.T. SOONER, THE PERMITTER SHALL FILE WITH THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT A WRITTEN STATEMENT, SIGNED BY A LICENSED PROFESSIONAL AND BY THE PERMITTER CERTIFYING THAT WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND THE APPROVED E&S AND PCSM PLANS.

MAINTENANCE PROGRAM FOR E&S CONTROL FACILITIES

§102.4(b)(5)(x)

THE FOLLOWING MEASURES ARE TAKEN TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE:

- ACCESS THE SITE THROUGH DESIGNATED CONSTRUCTION ENTRANCE(S).

THE FOLLOWING MEASURES ARE TAKEN TO MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION:

- ACCESS THE SITE THROUGH DESIGNATED CONSTRUCTION ENTRANCE(S) AND EARTHWORK ONLY ALLOWED WITHIN THE LIMITS OF DISTURBANCE.

THE FOLLOWING MEASURES ARE TAKEN TO MINIMIZE SOIL COMPACTION:

- ACCESS THE SITE THROUGH DESIGNATED CONSTRUCTION ENTRANCE(S).

THE FOLLOWING MEASURES ARE TAKEN TO PREVENT OR MINIMIZE GENERATION OF INCREASED STORM RUNOFF:

- PROVIDE MRC STORAGE SYSTEM STORMWATER CONTROL MEASURE (SCM)

SEQUENCE OF CONSTRUCTION:

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED, UNLESS NOTED OTHERWISE. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

AT LEAST 7 DAYS PRIOR TO START OF WORK OR EARTH DISTURBANCE ACTIVITIES, A PRECONSTRUCTION MEETING SHALL BE HELD INCLUDING THE OWNER, SITE CONTRACTOR, TOWNSHIP ENGINEER, CUMBERLAND COUNTY CONSERVATION DISTRICT, DESIGNATED LICENSED PROFESSIONAL ENGINEER, AND THE PLAN DESIGNER.

AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1776 FOR BURIED UTILITY LOCATIONS.

DURING CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE TOWNSHIP ENGINEER'S OFFICE THREE (3) DAYS PRIOR TO THE CONSTRUCTION OF THE PROPOSED BMP STORMWATER MANAGEMENT FACILITIES.

CESSATION OF CONSTRUCTION ACTIVITIES FOR AT LEAST FOUR (4) DAYS SHALL REQUIRE TEMPORARY STABILIZATION FOR ALL DISTURBED AREAS.

1. CLEARLY MARK THE LIMITS OF DISTURBANCE (LOD) WITH SURVEY STAKES AND 48-INCH HIGH SNOW FENCE, AS APPROPRIATE, PRIOR TO THE INITIATION OF EARTH DISTURBANCE ACTIVITIES.

2. INSTALL ALL TREE PROTECTION FENCING AS SHOWN ON THE PLANS PRIOR TO INITIATION OF EARTH DISTURBANCE ACTIVITIES. SPECIAL ATTENTION SHALL BE CHECKED DAILY AT THE BEGINNING OF THE WORK DAY. REPLACEMENT FENCING IN KIND SHALL BE PROVIDED IF DAMAGED OR NOT FUNCTIONING PROPERLY.

3. PERIMETER CONTROL MEASURES:

- INSTALL ROCK CONSTRUCTION ENTRANCE (50'-FT LENGTH)

- INSTALL COMPOST FILTER SOCKS AS SHOWN ON THE PLANS. COMPOST FILTER SOCKS SHALL BE CHECKED DAILY AT THE BEGINNING OF THE WORK DAY. REPLACEMENT SOCKS IN KIND SHALL BE PROVIDED IF NOT FUNCTIONING PROPERLY. ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF COMPOST FILTER SOCK OCCURRED DUE TO DAMAGE.

4. THE PERMITTER SHALL INFORM THE CUMBERLAND COUNTY CONSERVATION DISTRICT AND THE DEPARTMENT THAT THE APPLICABLE EROSION AND SEDIMENT CONTROL FACILITIES AS SET FORTH IN THE CONSTRUCTION SEQUENCE HAVE BEEN CONSTRUCTED, STABILIZED, AND ARE FUNCTIONAL BEFORE EARTH DISTURBANCE IN ANY AREA. EACH STEP OF THE CONSTRUCTION SEQUENCE SHALL BE STABILIZED AND FUNCTIONAL BEFORE THE NEXT STEP.

5. EROSION AND SEDIMENT CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE GENERAL SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS.

6. ALL EROSION CONTROL DEVICES SHALL BE CHECKED WEEKLY (OR DAILY IF SPECIFIED) AND AFTER EACH RAIN EVENT. ALL PREVENTATIVE REMEDY MAINTENANCE WORK INCLUDING REPAIR, REPLACEMENT, RE-GRADING, RESeedING, REMULching, AND RENETTING SHALL BE PERFORMED IMMEDIATELY.

7. SHOULD AN EROSION CONTROL DEVICE FAIL DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITION AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF RUNOFF OR SEDIMENT DISPLACEMENT. SPECIAL ATTENTION SHALL BE GIVEN TO FROZEN SLOPES. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE, AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY EROSION.

8. CLEAR AND CRUB TOPSOIL WITHIN STAKED-OUT LIMIT OF DISTURBANCE, STRIPE AND STOCKPILE TOPSOIL PER PLAN LOCATION. IMMEDIATELY APPLY TEMPORARY SEEDING AND MULCH TO THE STOCKPILE. COMPOST FILTER SOCKS SHALL BE CHECKED DAILY AT THE BEGINNING OF THE WORK DAY. REPLACEMENT SOCKS IN KIND SHALL BE PROVIDED IF DAMAGE OCCURRED DUE TO DAMAGE.

9. REMOVE ALL OTHER EXISTING IMPROVEMENTS AND CLEAR AND GRUB REMAINDER OF THE STAKED-OUT LIMIT OF DISTURBANCE CONSTRUCTION AREA AS DELINEATED ON THE PLAN. DISTURBED AREAS TO BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH.

10. INSTALL CONCRETE WASHOUTS AS SHOWN ON THE PLANS.

11. ROUGH GRADE SITE CONTRACTOR TO ADJUST EXPOSED PORTIONS OF THE ALL COMPOST FILTER SOCKS TO PROPOSED GRADE. REPAIR, RE-GRADING, RESeedING, REMULching, AND RENETTING SHALL BE PERFORMED IMMEDIATELY.

12. SHOULDER SLOPES, EMBANKMENT SLOPES, AND OTHER CONSTRUCTION SLOPES SHALL BE STABILIZED AND PROTECTED FROM CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITION AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF RUNOFF OR SEDIMENT DISPLACEMENT. SPECIAL ATTENTION SHALL BE GIVEN TO FROZEN SLOPES. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE, AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY EROSION.

13. CLEAR AND CRUB TOPSOIL WITHIN STAKED-OUT LIMIT OF DISTURBANCE, STRIPE AND STOCKPILE TOPSOIL PER PLAN LOCATION. IMMEDIATELY APPLY TEMPORARY SEEDING AND MULCH TO THE STOCKPILE. COMPOST FILTER SOCKS SHALL BE CHECKED DAILY AT THE BEGINNING OF THE WORK DAY. REPLACEMENT SOCKS IN KIND SHALL BE PROVIDED IF DAMAGE OCCURRED DUE TO DAMAGE.

14. REMOVE ALL OTHER EXISTING IMPROVEMENTS AND CLEAR AND GRUB REMAINDER OF THE STAKED-OUT LIMIT OF DISTURBANCE CONSTRUCTION AREA AS DELINEATED ON THE PLAN. DISTURBED AREAS TO BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH.

15. INSTALL CONCRETE WASHOUTS AS SHOWN ON THE PLANS.

16. ROUGH GRADE SITE CONTRACTOR TO ADJUST EXPOSED PORTIONS OF THE ALL COMPOST FILTER SOCKS TO PROPOSED GRADE. REPAIR, RE-GRADING, RESeedING, REMULching, AND RENETTING SHALL BE PERFORMED IMMEDIATELY.

17. SHOULDER SLOPES, EMBANKMENT SLOPES, AND OTHER CONSTRUCTION SLOPES SHALL BE STABILIZED AND PROTECTED FROM CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITION AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF RUNOFF OR SEDIMENT DISPLACEMENT. SPECIAL ATTENTION SHALL BE GIVEN TO FROZEN SLOPES. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE, AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY EROSION.

18. CLEAR AND CRUB TOPSOIL WITHIN STAKED-OUT LIMIT OF DISTURBANCE, STRIPE AND STOCKPILE TOPSOIL PER PLAN LOCATION. IMMEDIATELY APPLY TEMPORARY SEEDING AND MULCH TO THE STOCKPILE. COMPOST FILTER SOCKS SHALL BE CHECKED DAILY AT THE BEGINNING OF THE WORK DAY. REPLACEMENT SOCKS IN KIND SHALL BE PROVIDED IF DAMAGE OCCURRED DUE TO DAMAGE.

19. REMOVE ALL OTHER EXISTING IMPROVEMENTS AND CLEAR AND GRUB REMAINDER OF THE STAKED-OUT LIMIT OF DISTURBANCE CONSTRUCTION AREA AS DELINEATED ON THE PLAN. DISTURBED AREAS TO BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH.

20. INSTALL CONCRETE WASHOUTS AS SHOWN ON THE PLANS.

21. ROUGH GRADE SITE CONTRACTOR TO ADJUST EXPOSED PORTIONS OF THE ALL COMPOST FILTER SOCKS TO PROPOSED GRADE. REPAIR, RE-GRADING, RESeedING, REMULching, AND RENETTING SHALL BE PERFORMED IMMEDIATELY.

22. SHOULDER SLOPES, EMBANKMENT SLOPES, AND OTHER CONSTRUCTION SLOPES SHALL BE STABILIZED AND PROTECTED FROM CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITION AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF RUNOFF OR SEDIMENT DISPLACEMENT. SPECIAL ATTENTION SHALL BE GIVEN TO FROZEN SLOPES. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE, AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY EROSION.

23. CLEAR AND CRUB TOPSOIL WITHIN STAKED-OUT LIMIT OF DISTURBANCE, STRIPE AND STOCKPILE TOPSOIL PER PLAN LOCATION. IMMEDIATELY APPLY TEMPORARY SEEDING AND MULCH TO THE STOCKPILE. COMPOST FILTER SOCKS SHALL BE CHECKED DAILY AT THE BEGINNING OF THE WORK DAY. REPLACEMENT SOCKS IN KIND SHALL BE PROVIDED IF DAMAGE OCCURRED DUE TO DAMAGE.

24. REMOVE ALL OTHER EXISTING IMPROVEMENTS AND CLEAR AND GRUB REMAINDER OF THE STAKED-OUT LIMIT OF DISTURBANCE CONSTRUCTION AREA AS DELINEATED ON THE PLAN. DISTURBED AREAS TO BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH.

25. AS-BUILT DRAWINGS OF THE MRC STORAGE SYSTEM SCM AND ALL ASSOCIATED FEATURES SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL. THE SCM WILL NOT BE CONSIDERED FUNCTIONAL UNTIL IT IS DETERMINED THAT THE SCM MEETS THE VOLUME REQUIREMENTS AND OUTFLOW CHARACTERISTICS OF THE ORIGINAL DESIGN OF THE SCM.

CLEAN FILL REQUIREMENTS
IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH THE CONTRACTOR.
CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, ASH, GROUT, CONCRETE, UNREFINED EARTH, COAL, OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE ASH, GROUT, CONCRETE, OR CONCRETE OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).
CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE OR OTHER WASTE, OR CLEAN FILL ON THE SITE OF A REGULATED SUBSTANCE, STILL QUALIFIES AS CLEAN FILL, PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMS AS TESTED IN TABLE FP-001. THE TESTS FOR CLEAN FILL ARE IN ACCORDANCE WITH THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S POLICY "MANAGEMENT OF FILL."
ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FP-001 TO CERTIFY THAT THE FILL IS CLEAN FILL. THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL, FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.
ENVIRONMENTAL DUE DILIGENCE: THE LANDOWNER/APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIVE THOUGHT, DOCUMENTATION, AND RECORDS OF PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTS, AND OTHER ASSESSMENTS OF PROPERTY. VISUAL INSPECTION IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL HAS BEEN SUBJECT TO SPILLS OR RELEASES OF REGULATED SUBSTANCES. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTS FOR CLEAN FILL ARE IN ACCORDANCE WITH APPENDIX A OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S POLICY "MANAGEMENT OF FILL".
FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL, FILL WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS, OR MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTER 287 RESIDUAL WASTE MANAGEMENT OR CHAPTER 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT WWW.PACODE.COM.

E&S PLAN AND PCSM PLAN CONSISTENCY:

THE EROSION AND SEDIMENT CONTROL (E&S) PLAN AND THE POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) PLAN HAVE BEEN PROVIDED SEPARATELY; HOWEVER, THEY HAVE BEEN PLANNED, DESIGNED, AND IMPLEMENTED TO BE CONSISTENT WITH ONE ANOTHER. THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN IS PROVIDED AS PART OF THE PCSM REPORT AND THE EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PROVIDED AS PART OF A SEPARATE E&S CONTROL REPORT.

GEOLGIC FORMATIONS OR SOIL CONDITIONS

THEY ARE NO KNOWN GEOLGIC OR SOIL CONDITIONS KNOWN TO CAUSE POLLUTION DURING EARTH DISTURBANCE ACTIVITIES. IF ANY POTENTIAL FOR POLLUTION IS IDENTIFIED, IMMEDIATELY CONTACT THE LOWER ALLEN TOWNSHIP ENGINEER AND THE CUMBERLAND COUNTY CONSERVATION DISTRICT FOR INFORMATION TO AVOID, MINIMIZE, OR MITIGATE ANY POLLUTION.

POTENTIAL THERMAL IMPACTS

THERMAL IMPACTS FROM THE IMPERVIOUS SURFACES WITHIN THIS SITE ARE MITIGATED IN SEVERAL WAYS. FIRST, THE PROPOSED LAWN AREAS ARE TURBULENT FLOW AREAS AND THEREFORE ENERGETICALLY RELEASED FROM THE WATER AS IT FLOWS OVER THE LAWN AREA. SECOND, THE PROPOSED LAWN SPOTS ARE LOCATED UNDERGROUND, WHERE TEMPERATURES ARE NATURALLY COOLER. LASTLY, THE PROPOSED STORMWATER MANAGEMENT SCM IS LOCATED UNDERGROUND WHERE TEMPERATURES ARE NATURALLY COOLER. THE COMBINATION OF THESE FACTORS WILL REDUCE THE THERMAL IMPACTS OF THE SITE, PREVENTING ANY NEGATIVE IMPACTS TO THE RECEIVING WATERCOURSE.

RIPARIAN FOREST BUFFER MANAGEMENT PLAN:

THERE ARE NO AREAS OF HIGH QUALITY (HQ) OR EXCEPTIONAL VALUE (EV) WATERSHEDS ON THE PROPERTY SITE, NOR DOES ANY AREA OF THE PROPERTY FLOW TO AN HQ OR EV WATERSHED. THEREFORE, RIPARIAN BUFFER, RIPARIAN FOREST BUFFER, OR EQUIVALENT DEMONSTRATION ARE NOT REQUIRED NOR APPLICABLE AS PART OF THIS PROJECT.

ANTIDEGRADATION ANALYSIS:

THERE ARE NO AREAS OF HIGH QUALITY (HQ) OR EXCEPTIONAL VALUE (EV) WATERSHEDS ON THE PROPERTY SITE, NOR DOES ANY AREA OF THE PROPERTY FLOW TO AN HQ OR EV WATERSHED. THEREFORE, ANTIDEGRADATION ANALYSIS IS NOT APPLICABLE FOR THIS SITE. HOWEVER, ABACT PCSM AND E&S BMPS ARE UTILIZED ON-SITE AND ANALYSIS IS INCLUDED ON THE APPLICATIONS AND IN THE PCSM AND E&S REPORTS.

EROSION & SEDIMENT CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, STABILIZED AND FUNCTIONAL PRIOR TO EARTH DISTURBANCE WITHIN THE TRIBUTARY AREA TO THE 30' SLOPES.
2. GENERAL SITE CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S MEASURES INDICATED IN THE SEQUENCE FOR THAT STAGE/PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS INTENDED.
3. LOCAL ROADS ARE TO REMAIN FREE OF SEDIMENT AND CONSTRUCTION VEHICLES AND EQUIPMENT.
4. A 48" HIGH SNOW FENCE SHALL BE INSTALLED ALONG THE ENTIRE LIMIT OF DISTURBANCE.
5. UPON COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY, THE SITE SHALL BE IMMEDIATELY SEDDED, MULCHED OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION AS PER SEEDING AND MULCHING SCHEDULE.
6. SILT FENCING/COMPOST SOCKS MAY BE REMOVED WHEN THE SITE IS PERMANENTLY STABILIZED. ACCUMULATED SEDIMENT MAY BE SPREAD AT THE SITE IN AREAS WHERE IT IS TO BE USED.
7. THE TREE PROTECTION FENCING SHALL NOT BE REMOVED UNTIL ALL DEVELOPMENT AREAS ARE STABILIZED AND WRITTEN CONFIRMATION IS RECEIVED FROM THE CUMBERLAND COUNTY CONSERVATION DISTRICT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
9. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE CONTRACTOR SHALL RECEIVE APPROVAL OF THE REVISIONS FROM THE CUMBERLAND COUNTY CONSERVATION DISTRICT.
10. THE CONTRACTOR IS ADVISED TO BECOME FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, 'EROSION CONTROL RULES AND REGULATIONS', TITLE 25, PART 1, DEPT. OF ENVIRONMENTAL PROTECTION, SUBPART C-PROTECTION OF NATURAL RESOURCES, ARTICLE III-WATER RESOURCES, CHAPTER 102-EROSION CONTROL AND 'EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL' BY THE COMMONWEALTH OF PA., DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2012 OR LATEST EDITION.
11. TECHNICAL ADVICE FOR THE IMPLEMENTATION OF THIS PROGRAM MAY BE OBTAINED BY CONTACTING THE CUMBERLAND COUNTY CONSERVATION DISTRICT AT (610)892-4844.
12. COPIES OF THESE PLANS MUST BE AVAILABLE ON SITE THROUGHOUT CONSTRUCTION.
13. THE CONTRACTOR SHALL ASSURE THAT AN APPROVED EROSION & SEDIMENT CONTROL PLAN IS BEING IMPLEMENTED AND MAINTAINED FOR ALL OFFSITE BORROW OR SPOLI SITE.
- A. ALL FIL MATERIALS TO BE USED ON THIS SITE SHALL BE CLEAN FILL UNLESS OTHERWISE APPROVED BY THE MUNICIPALITY AND THE CONSERVATION DISTRICT. THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM DUE DILIGENCE FOR ALL IMPORTED MATERIAL IN DETERMINING THAT FILL IS CLEAN.
- B. INVESTIGATIVE TECHNIQUES SHALL INCLUDE, BUT ARE NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.
13. CONTRACTOR SHALL FOLLOW THE PROCEDURES OUTLINED BY THE APPROVED EROSION & SEDIMENT CONTROL PLAN AND THE SEQUENCE OF CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE TOWNSHIP ENGINEER AND THE CUMBERLAND COUNTY CONSERVATION DISTRICT.

SEEDING AND MULCHING SCHEDULE

1. SITE PREPARATION, STABILIZATION AND MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH PENN STATE UNIVERSITY'S "THE AGRONOMY GUIDE" AND PENNDOT FORM 405 SPECIFICATIONS' MOST RECENT ADDITION.
2. TEMPORARY SEEDING SPECIFICATION FORMULA E – ANNUAL RYE GRASS
3. PERMANENT SEEDING SPECIFICATION FORMULA B –
 - 30% PENNCLAWN RED FESCUE
 - 30% PENNCLAWN RED FESCUE
 - 20% PERENNIAL RYEGRASS MIXTURE
4. STEEP SLOPE SEEDING SPECIFICATION FORMULA W –
 - 70% TALL FESCUE
 - 10% CLOUDSFoot TREFOLIUM MIXTURE
 - 10% REDTOP
5. SEEDING RATE FOR THE ABOVE MIXTURES:
 - 10 LBS/1,000 SF FOR TEMPORARY SEEDING
 - 21 LBS/1,000 SF FOR PERMANENT SEEDING
 - 11 LBS/1,000 SF FOR STEEP SLOPE SEEDING (SEE NOTE 5)
6. PPHA SEEDING REQUIREMENTS: LOOSE SEDD SHALL ONLY BE PERMITTED TO PATCH SMALL UTILITY EXCAVATIONS, ETC. ALL OTHER SEEDING SHALL BE ONE OF THE FOLLOWING:
 - 1. HYDRO-SEED-CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, FEEDING AND MOWING UNTIL MATURE GROWTH IS ESTABLISHED.
 - 2. SOD- CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND FEEDING FOR 3 MONTHS AFTER INSTALLATION.
7. HAY OR STRAW MULCH SHALL BE APPLIED AT THE RATES OF AT LEAST 3.0 TONS PER ACRE. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN. SLOPES OF 3:1 SHALL BE ANCHORED WITH MULCH CONTROL NETTING.
8. PULVERIZED AGRICULTURAL LIMESTONE AND COMMERCIAL FERTILIZER SHALL BE APPLIED TO ALL DISTURBED AREAS WHICH ARE TO BE SEEDED EXCEPT FOR TEMPORARY SEED AREAS ARE THE FOLLOWING RATES:
 - PULVERIZED AGRICULTURAL LIMESTONE – 90 LBS/1,000 SF
 - 20-20-20 ANALYSIS COMM. FERTILIZER – 20 LBS/1,000 SF

NOTE: APPLICATION OF LIME AND FERTILIZER FOR TEMPORARY SEEDING IS UNNECESSARY AND ONLY SERVES TO CONTRIBUTE TO AN OVERABUNDANCE OF NUTRIENT POLLUTION IN THE WATERSHED.

9. PERMANENT SEEDING SHALL TAKE PLACE FROM MARCH 15 TO JUNE 1 OR FROM AUGUST 1 TO OCTOBER 15. IF COMPLETED AT IN OTHER SEASONS, AREAS SHALL RECEIVE TEMPORARY SEEDING AND 3.0 TONS PER ACRE MULCH.
10. STEEP SLOPE AREAS, CONSIDERED SLOPES GREATER THAN 3:1, SHALL BE PROTECTED FROM EROSION BY ONE OF THE FOLLOWING METHODS. MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED FOR PARTICULAR METHOD AND SPECIFIC SITE CONDITIONS.
11. FLEXIBLE GROWTH MEDIUM: SHALL BE HYDRAULICALLY APPLIED COMBINATION OF SEED, MULCH, AND EROSION PROTECTION MATERIAL SIMILAR TO "FLEXTERRA" BY ACF OR EQUAL BY OTHER MANUFACTURER.
12. EROSION CONTROL MATTING: SHALL BE TEMPORARY MATTING SIMILAR TO C350 BY NORTH AMERICAN GREEN OR EQUAL BY OTHER MANUFACTURER.

RECYCLING OR DISPOSAL OF MATERIALS

THE FOLLOWING IS A LIST THAT INCLUDES, BUT THAT IS NOT LIMITED TO, THE POTENTIAL CONSTRUCTION WASTES THAT MAY EXIST ON-SITE:

- CONCRETE, STONE, AND AGGREGATE
- ASPHALT
- E&S BMP - SILT SOCK
- E&S BMP - EROSION CONTROL MATTING
- E&S BMP - STONE INLET PROTECTION
- E&S BMP - REGULATED FILL

ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. EXCEPT FOR MATERIALS THAT ARE RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIALS OR WASTES AT THE SITE.

1. DUST CONTROL – CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE AT THE STABILIZED CONSTRUCTION ENTRANCE. THE PURPOSE IS TO TRAP DUST AND MUD THAT WOULD OTHERWISE BE CARRIED OFF-SITE BY CONSTRUCTION TRAFFIC. WATER TRUCKS WILL BE USED AS NEEDED DURING CONSTRUCTION TO MAINTAIN DUST LEVELS. CONSTRUCTION TRAFFIC WILL BE PROHIBITED FROM THE SITE UNTIL THE DEGREE THAT IS ACCEPTABLE TO THE LOCAL CONSERVATION DISTRICT. AFTER CONSTRUCTION, THE SITE WILL BE STABILIZED, WHICH WILL REDUCE THE POTENTIAL FOR DUST GENERATION.

2. WATER SOURCE – NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONSTRUCTION WHICH DISCHARGES FROM THE SITE MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE STATE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE.

3. CONCRETE WASTE FROM CONCRETE READY-MIX TRUCKS – DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS WILL BE ALLOWED ON THE CONSTRUCTION SITE, BUT ONLY IN A CONCRETE DESIGNED DUMP AREA TO PREVENT CONFLIC WITH THE CONCRETE AND/OR WASH WATER FROM STORMWATER THAT WILL BE DISCHARGED FROM THE SITE.

4. SEDIMENT REMOVED FROM CONTROL FACILITIES AS A PART OF REGULAR MAINTENANCE SHALL BE DISPOSED OF UPSLOPE OF THE CONTROL FACILITY.

5. THE FOLLOWING IS A LIST THAT INCLUDES, BUT THAT IS NOT LIMITED TO, THE POTENTIAL PROJECT WASTES SPECIFIC TO PCSM SCM AND/OR PROJECT CONSTRUCTION:

- CONCRETE, STONE, AND AGGREGATE
- STONE, GRAVEL, AND/OR ROCK
- TOP SOIL AND SUBSURFACE SOILS
- TREES, SHRUBS, WEEDS, VEGETATION
- MISCELLANEOUS TRASH AND DEBRIS

THE FOLLOWING MATERIALS ARE ANTICIPATED TO BE CONSTRUCTION WASTE: ASPHALT PAVING AND CONCRETE PAVING/SPOIL SITE IS UNDEVELOPED; THEREFORE ALL OTHER WASTES ARE NATURALLY OCCURRING: ROCK, VEGETATION, SOIL.

E&S MAINTENANCE & INSPECTION SCHEDULE:

ROCK CONSTRUCTION ENTRANCE AT 100'-FT LENGTH (RCE):

- 1. INSPECT DAILY:
 - ADD ROCK TO MAINTAIN SPECIFIED DIMENSIONS AND THICKNESS
 - MAINTAIN A STOCKPILE OF ROCK ON SITE
 - REMOVE AND REPLACE IF RCE BECOMES TOO CLOGGED
 - SEDIMENT DEPOSITED ON ROADWAYS SHALL BE REMOVED AND RETURNED TO THE SITE
 - CLEAN OUT WASH RACK AS NECESSARY
 - SEDIMENT FROM WASH RACK SHALL BE DIRECTED TO COMPOST SOCK ON SITE
 - SEDIMENT SHALL NOT BE WASHED OR SWEEP INTO ROADSIDE DITCHES, SEWERS, CULVERTS OR OTHER DRAINAGE COURSES
 - SEDIMENT FROM WASH RACK SHALL BE BEING DEPOSITED ON THE ROADWAY, EXTEND THE LENGTH OF THE RCE BY 50'-FOOT INCREMENTS
- 2. LONG-TERM POLLUTANT CONTROLS – STORM WATER POLLUTANT CONTROL MEASURES INSTALLED DURING CONSTRUCTION THAT WILL ALSO PROVIDE BENEFITS AFTER CONSTRUCTION, INCLUDING INFILTRATION BASINS AND BMPs, INFILTRATION RAIN GARDENS, SOIL AMENDMENTS, LANDSCAPING (TREES), AND PERMANENT GRASS AND PAVEMENT COVER.

INSPECT WEEKLY:

- 1. INSPECT DAILY

COMPOST FILTER SOCK (CFS):

- 1. INSPECT DAILY AND AFTER EACH RUNOFF EVENT
- 2. DAMAGED SOCKS TO BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION
- 3. IF FAILURE IS THE RESULT OF UNANTICIPATED CONCENTRATED FLOW, THE SECTION OF AFFECTED CFS SHALL BE REPLACED WITH A ROCK FILTER OUTLET
- 4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 OF THE HEIGHT OF THE FILTER SOCK
- 5. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS
- 6. PHOTOODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 1 YEAR

ROCK FILTER OUTLET (RFO) (IF REQUIRED):

- 1. INSPECT WEEKLY AND AFTER EACH RUNOFF EVENT
- 2. ADD ROCK TO MAINTAIN SPECIFIED DIMENSIONS
- 3. MAINTAIN COMPOST LAYER (IF SPECIFIED)
- 4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 OF THE HEIGHT OF THE OUTLET

INLET PROTECTION (IP):

- 1. INSPECT WEEKLY AND AFTER EACH RUNOFF EVENT
- 2. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN 1/2 FULL OR IF FLOW CAPACITY IS REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET
- 3. MAINTAIN A SUPPLY OF BAGS ON SITE FOR REPLACEMENT
- 4. ALL REPAIRS/REPLACEMENTS SHALL BE INITIATED IMMEDIATELY AFTER INSPECTION

PUMPED WATER FILTER BAG:

- 1. INSPECT PRIOR TO EACH USE
- 2. REPLACE BAGS WHEN THEY ARE 1/2 FILLED WITH SEDIMENT
- 3. FILLED BAGS SHALL BE REPLACED IMMEDIATELY
- 4. PREPARE A SUPPLY OF PLACED COMPOST SOCKS
- 5. MAINTAIN A SUPPLY OF BAGS ON SITE FOR REPLACEMENT
- 6. IF ANY PROBLEM IS DETECTED DURING PUMPING, PUMPING SHALL CEASE IMMEDIATELY AND SHALL NOT RESUME UNTIL THE PROBLEM IS CORRECTED

EROSION CONTROL BLANKET, SLOPE AND SWALE (ECS):

- 1. INSPECT WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA
- 2. REPAIR OR REPLACE DAMAGED OR DISPLACED BLANKETS ACCORDING TO MANUFACTURER'S SPECIFICATIONS WITHIN 4 DAYS OF INSPECTION

TOPSOIL STOCKPILE:

- 1. INSPECT WEEKLY AND AFTER EACH RUNOFF EVENT
- 2. IMMEDIATELY APPLY SEED AND MULCH FOR STABILIZATION
- 3. REPAIR OR REPLACE DAMAGED OR DISPLACED PERIMETER COMPOST SOCKS AS NECESSARY

SOIL LIMITATIONS TABLE:

PER TABLE E.1 OF THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM, MARCH 2012, THE FOLLOWING TABLE DISPLAYS THE LIMITATIONS OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS FOR THE SOILS LOCATED ON THE PROJECT SITE.

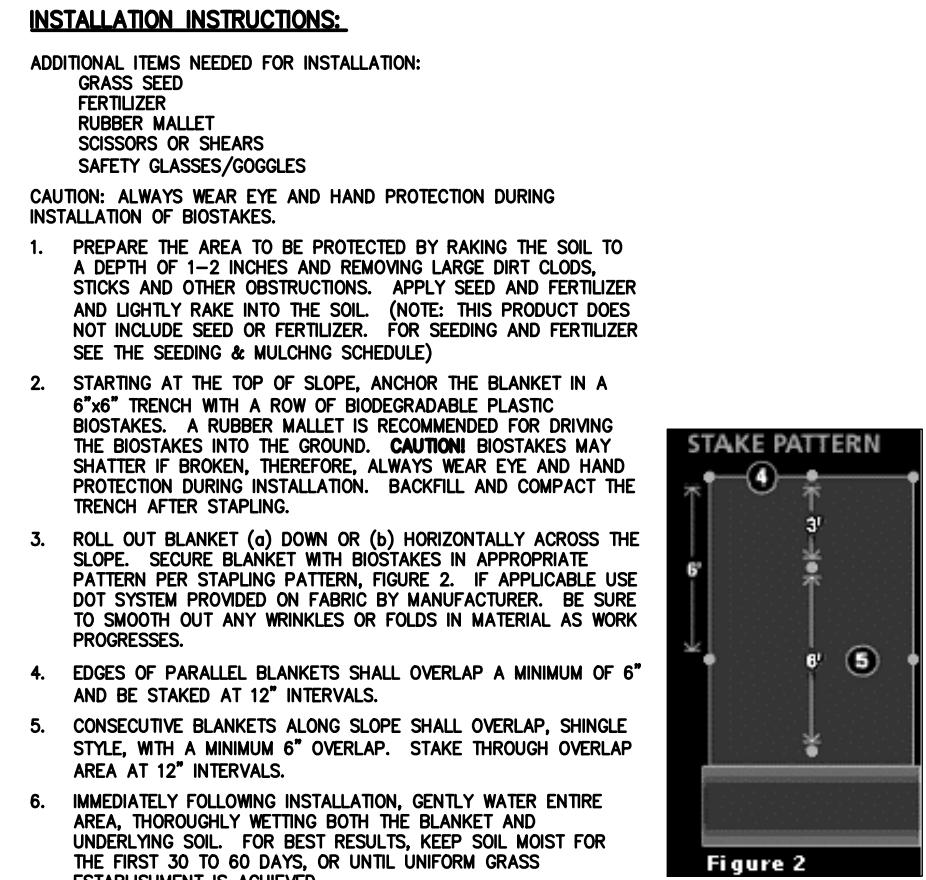
SOIL NAME	CUTBANKS CAVE	CORROSIVE TO CONCRETE/STEEL*	DROUGHT	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE	HYDRIC/HYDROS INCLUSIONS	LOW STRENGTH/LANDSLIDE PRONE	SLOW PERCOLATION	PIPEING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK – SWELL	POTENTIAL SINKHOLE	PONDING	WENESS
DUFFIELD SILT LOAM	X C/S	X							X	X	X	X	X			
HAGERSTOWN SILT LOAM	X S	X		X	X	X	X	X	X	X	X	X				

NOTE: ABSENCE OF AN X DOES NOT MEAN "NO POTENTIAL LIMITATION"

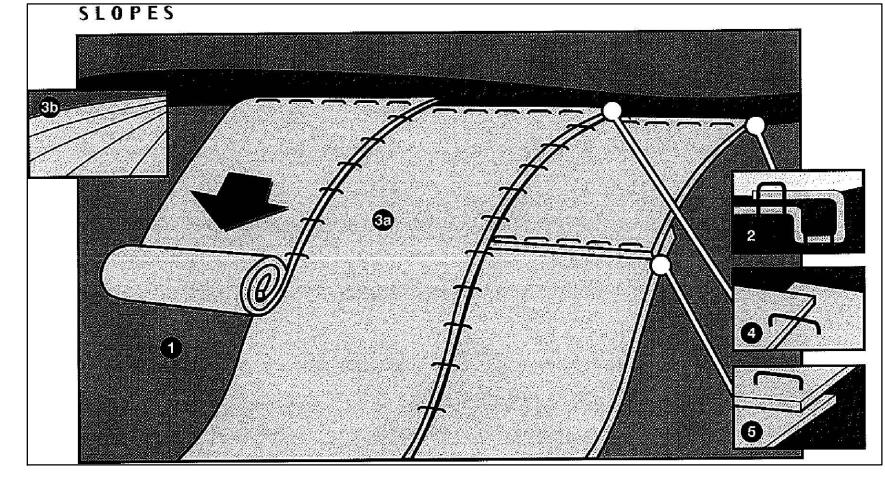
* C = CONCRETE, S = STEEL

RECYCLING OR DISPOSAL OF MATERIALS

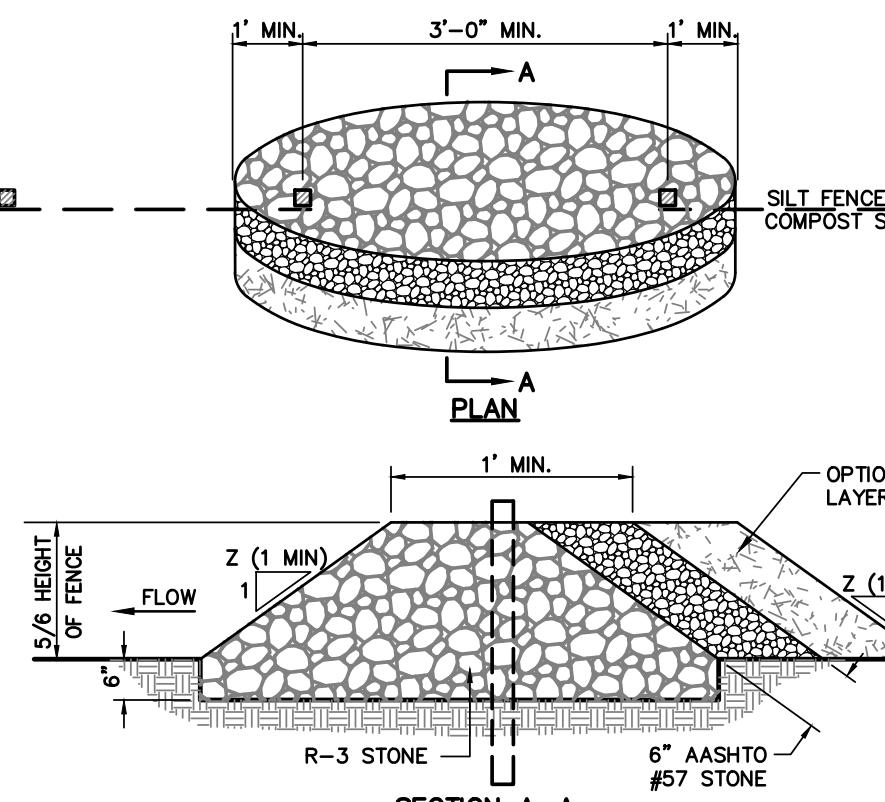
1. THE CONTRACTOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTE IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE



NORTH AMERICAN GREEN SLOPE INSTALLATION



CONTRACTOR SHALL USE NORTH AMERICAN GREEN (OR EQUAL) EROSION CONTROL FABRICS WITH THE MANUFACTURER'S RECOMMENDED STAPLE PATTERN. CLASS OF FABRIC SHALL BE AS NOTED ELSEWHERE IN THE PLANS.



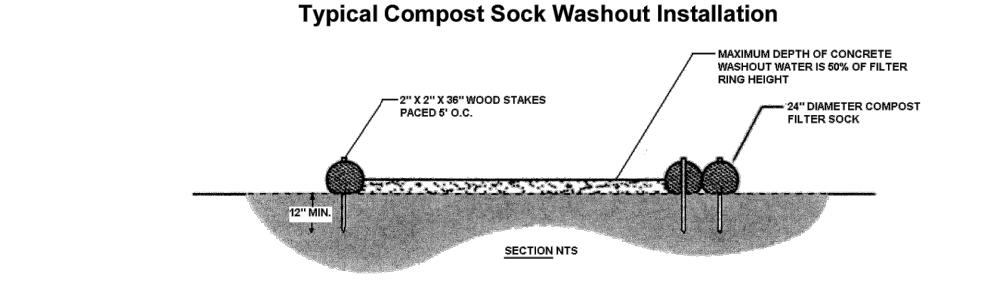
ROCK FILTER OUTLET DETAIL

NOTES:

1. ROCK FILTER OUTLETS TO BE PROVIDED AT ALL EXISTING OR PROPOSED LOW POINTS AND ALL AREAS OF CONCENTRATED FLOWS.
2. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLETS.
3. COMPOST LAYER IS REQUIRED IN ALL HQ AND EV WATERSHEDS.



FIGURE 3.18
Typical Compost Sock Washout Installation



INSTALLATION INSTRUCTIONS:

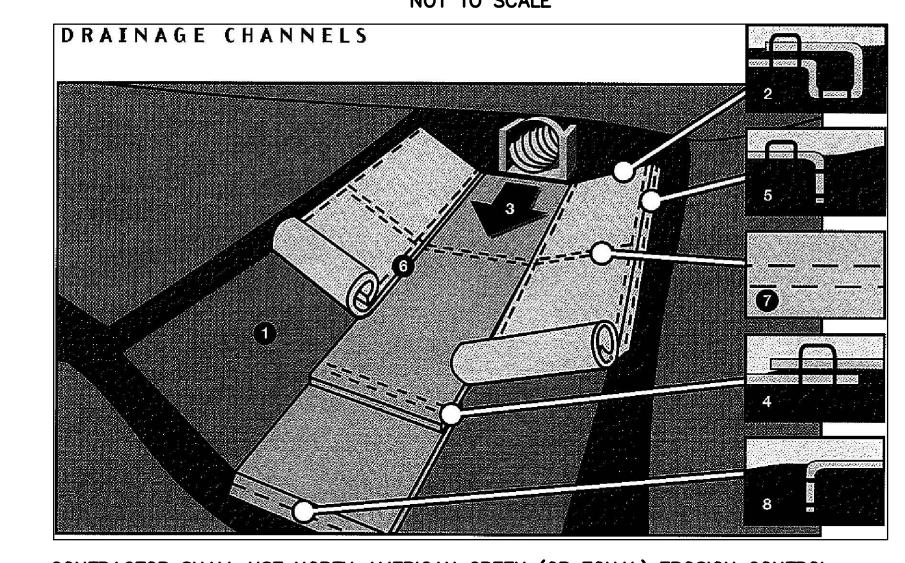
ADDITIONAL ITEMS NEEDED FOR INSTALLATION:
GRASS SEED
RUBBER MALLETS
SCISSORS OR SHEARS
SAFETY GLASSES/GOOGLES

CAUTION: ALWAYS WEAR EYE AND HAND PROTECTION DURING INSTALLATION OF BIOSTAKES.

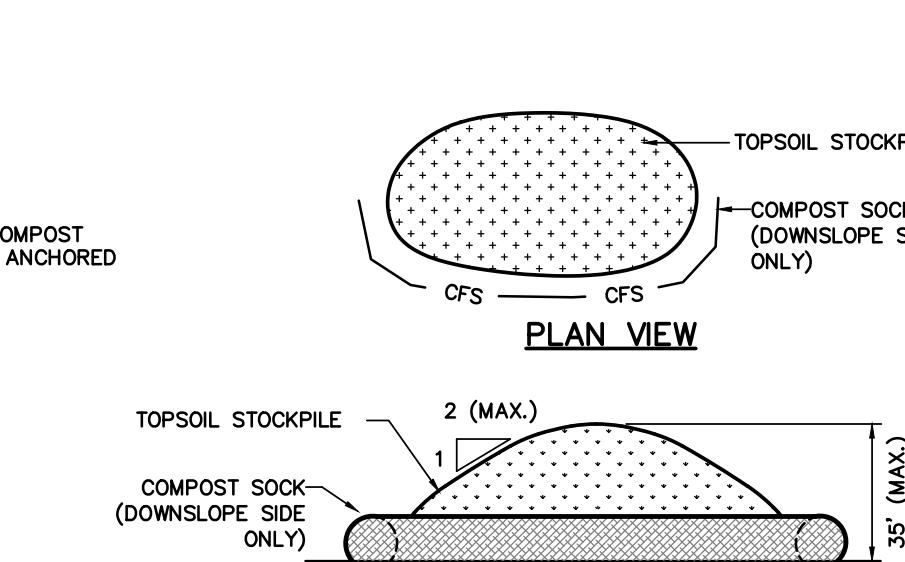
1. PREPARE THE AREA TO BE PROTECTED BY RAISING THE SOIL TO A DEPTH OF 1-2 INCHES AND REMOVING LARGE STICKS, CLOUDS, STICKS AND OTHER OBSTRUCTIONS. APPLY SEED AND FERTILIZER AND LIGHTLY RAKE INTO THE SOIL. (NOTE: THIS PRODUCT DOES NOT INCLUDE SEED OR FERTILIZER FOR SEEDING AND FERTILIZER SEE THE SEEDING & MULCHING SCHEDULE).
2. BEGIN INSTALLATION AT THE TOP OF THE SWALE, ANCHOR THE BLANKET IN A 6"x6" TRENCH. STAKE THE FABRIC INTO THE BOTTOM OF THE TRENCH WITH BIODEGRADABLE PLASTIC BIOSTAKES AT 12" INTERVALS. STAPLE THE BLANKET TO THE SOIL.
3. ROLL CENTER BLANKET OVER THE PREPARED BOTTOM OF THE SWALE IN THE DIRECTION OF WATER FLOW. SECURE BLANKET WITH BIOSTAKES IN APPROPRIATE PATTERN PER FIGURE 2 OR DRIVING DOT SYSTEM PROVIDED ON FABRIC BY MANUFACTURER. USE RUBBER MALLET IS RECOMMENDED FOR DRIVING THE BIOSTAKES INTO THE GROUND. CAUTION: BIOSTAKES MAY SHATTER IF BROKEN; THEREFORE, ALWAYS WEAR EYE AND HAND PROTECTION DURING INSTALLATION.
4. PLACE SUBSEQUENT BLANKETS END OVER END, SHINGLE STYLE, WITH MINIMUM 6" OVERLAP. SECURE WITH DOUBLE ROW OF STAPLES/STAKES 4" APART AND 6" ON CENTER ACROSS FULL WIDTH OF BLANKET.
5. FULL LENGTH OF BLANKET ALONG SIDE SLOPES SHALL BE ANCHORED WITH STAPLES/STAKES AT 12" INTERVALS IN 6"x6" TRENCH.
6. LOAD BLANKETS ON SIDE SLOPES, IF NEEDED, SHALL BE OVERLAPPED A MINIMUM OF 6" AND SECURED WITH STAPLES/STAKES AT 12" INTERVALS.
7. IN HIGH FLOW CHANNELS, CHECK SLOT SHALL BE INSTALLED 30 FEET ON CENTER. CENTER CHANNEL SLOT SHALL BE A DOUBLE ROW OF STAPLES/STAKES 4" APART AND 6" ON CENTER ACROSS THE FULL WIDTH OF THE CHANNEL.
8. TERMINAL END OF THE BLANKET SHALL BE ANCHORED IN 6"x6" TRENCH WITH STAKES/STAKES AT 12" INTERVAL. TRENCH SHALL BE BACKFILLED AND COMPACTED AFTER ANCHORING.
9. IMMEDIATELY FOLLOWING INSTALLATION, GENTLY WATER ENTIRE AREA, THOROUGHLY WETTING BOTH THE BLANKET AND UNDERLYING SOIL. FOR BEST RESULTS, KEEP SOIL MOIST FOR THE FIRST 30 TO 60 DAYS OF UNIFORM GRASS ESTABLISHMENT IS ACHIEVED.

Figure 2

NORTH AMERICAN GREEN SWALE INSTALLATION



CONTRACTOR SHALL USE NORTH AMERICAN GREEN (OR EQUAL) EROSION CONTROL FABRICS WITH THE MANUFACTURER'S RECOMMENDED STAPLE PATTERN. CLASS OF FABRIC SHALL BE AS NOTED ELSEWHERE IN THE PLANS.



TOPSOIL STOCKPILE AREA DETAIL

NOTES:

SEDIMENT BARRIER MUST BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES IMMEDIATELY APPLY TEMPORARY SEEDING & MULCH TO ALL STOCKPILES.

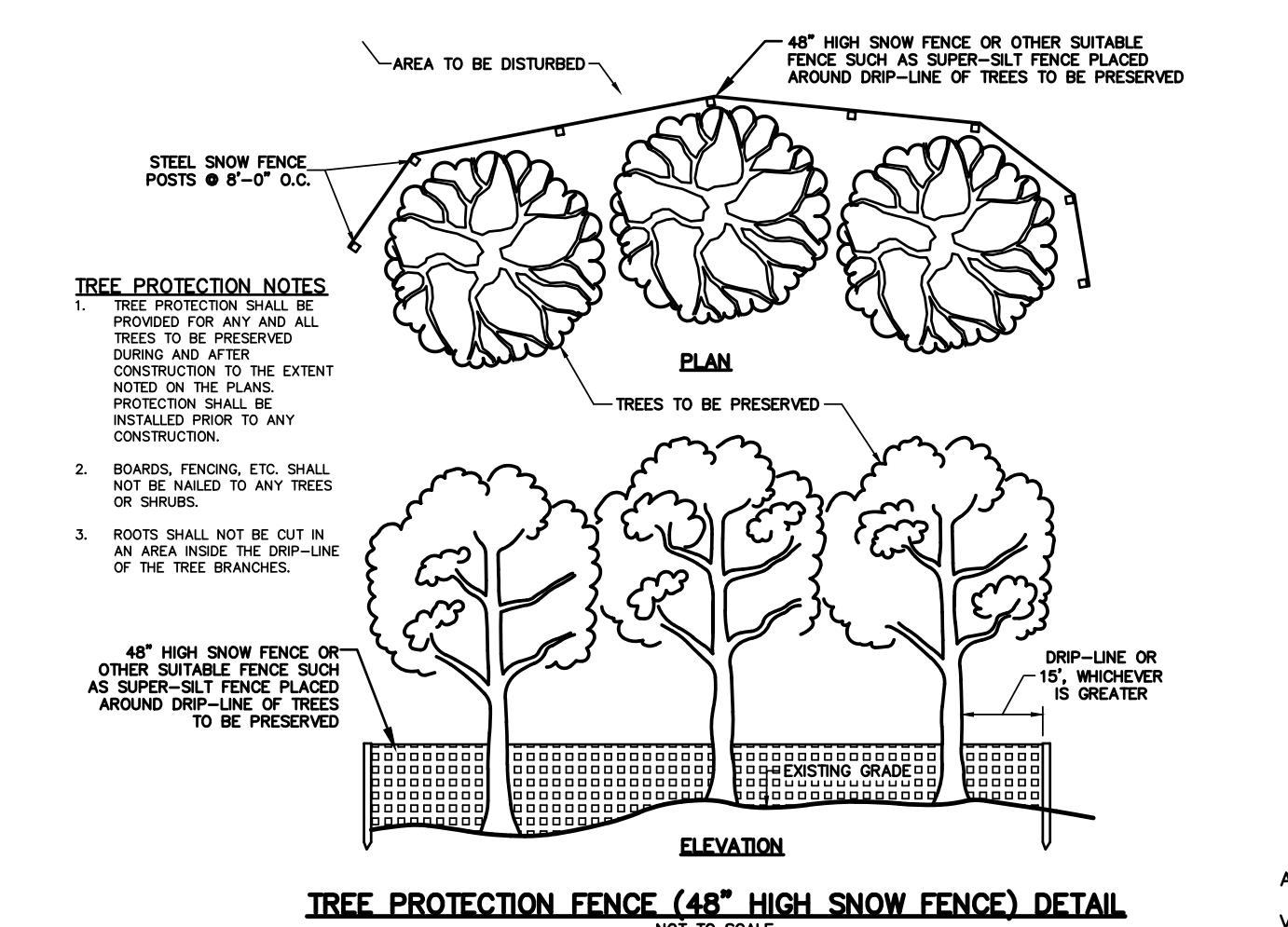
NOTES:

ROCK CONSTRUCTION ENTRANCE TO BE 100 FEET IN LENGTH TO BE ABAC COMPLIANT.

RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.

IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50-FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWER, CULVERTS OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.



TREE PROTECTION FENCE (48" HIGH SNOW FENCE) DETAIL

NOTES:

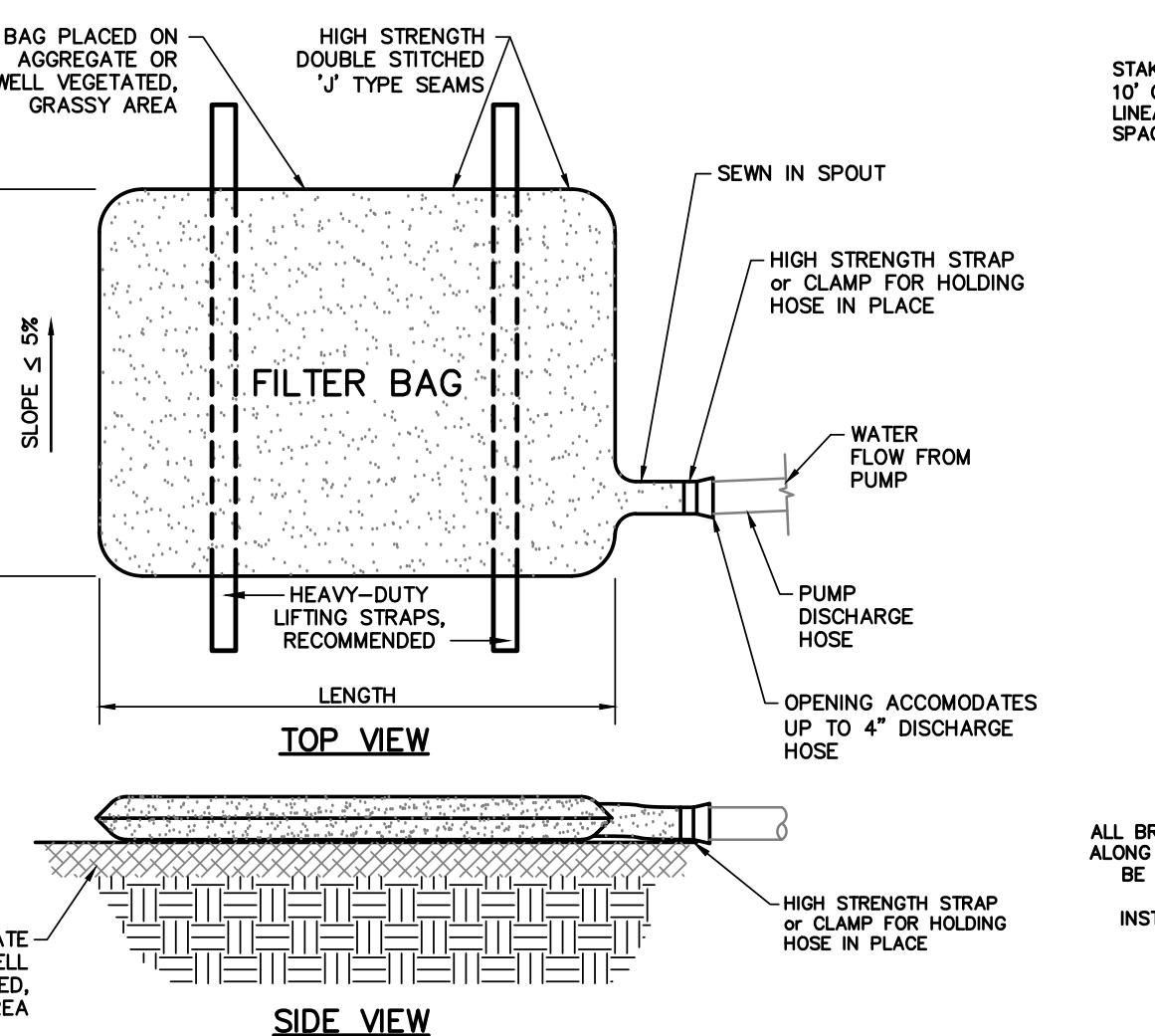
STAKE PATTERN

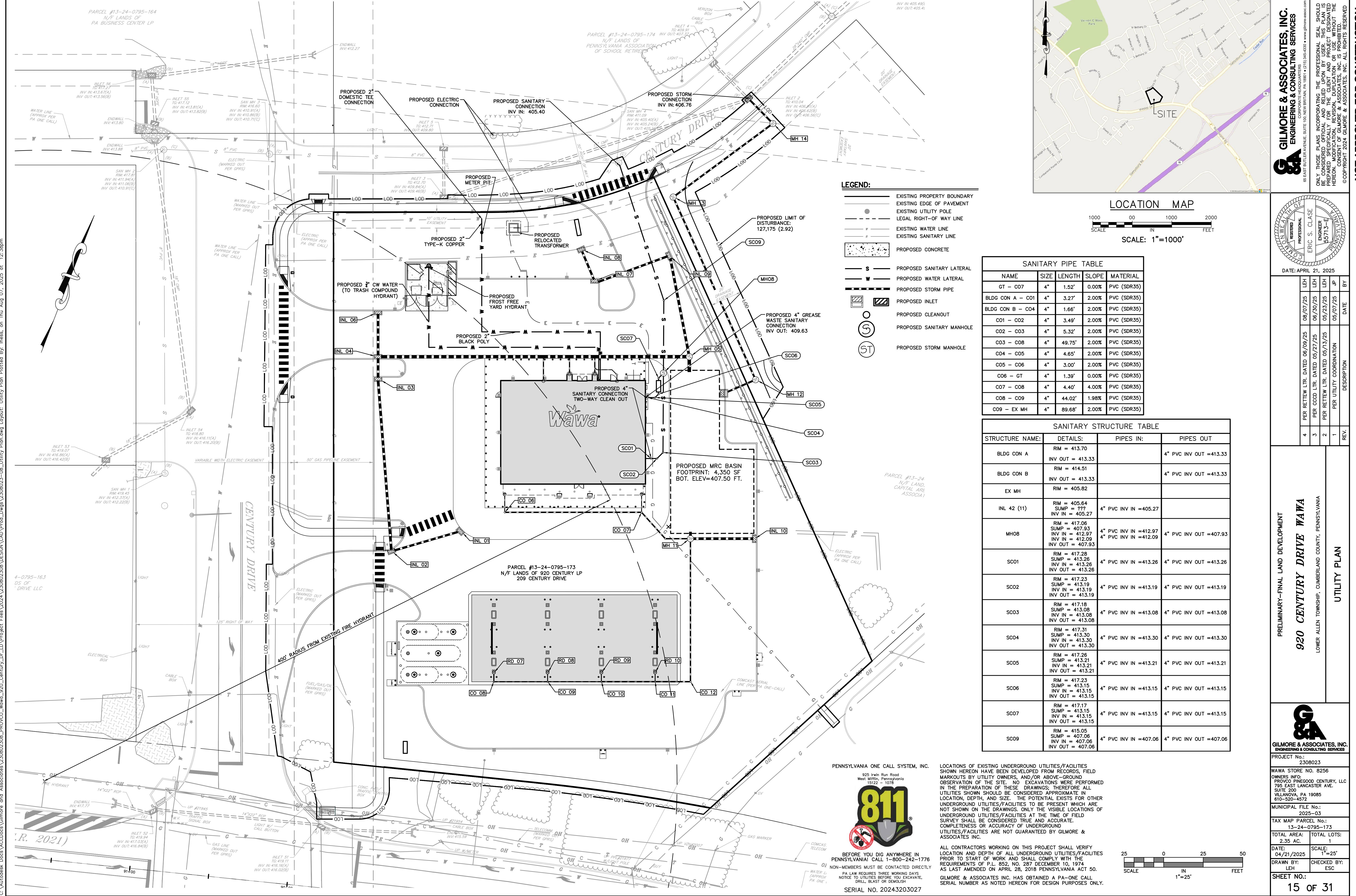
PLAN

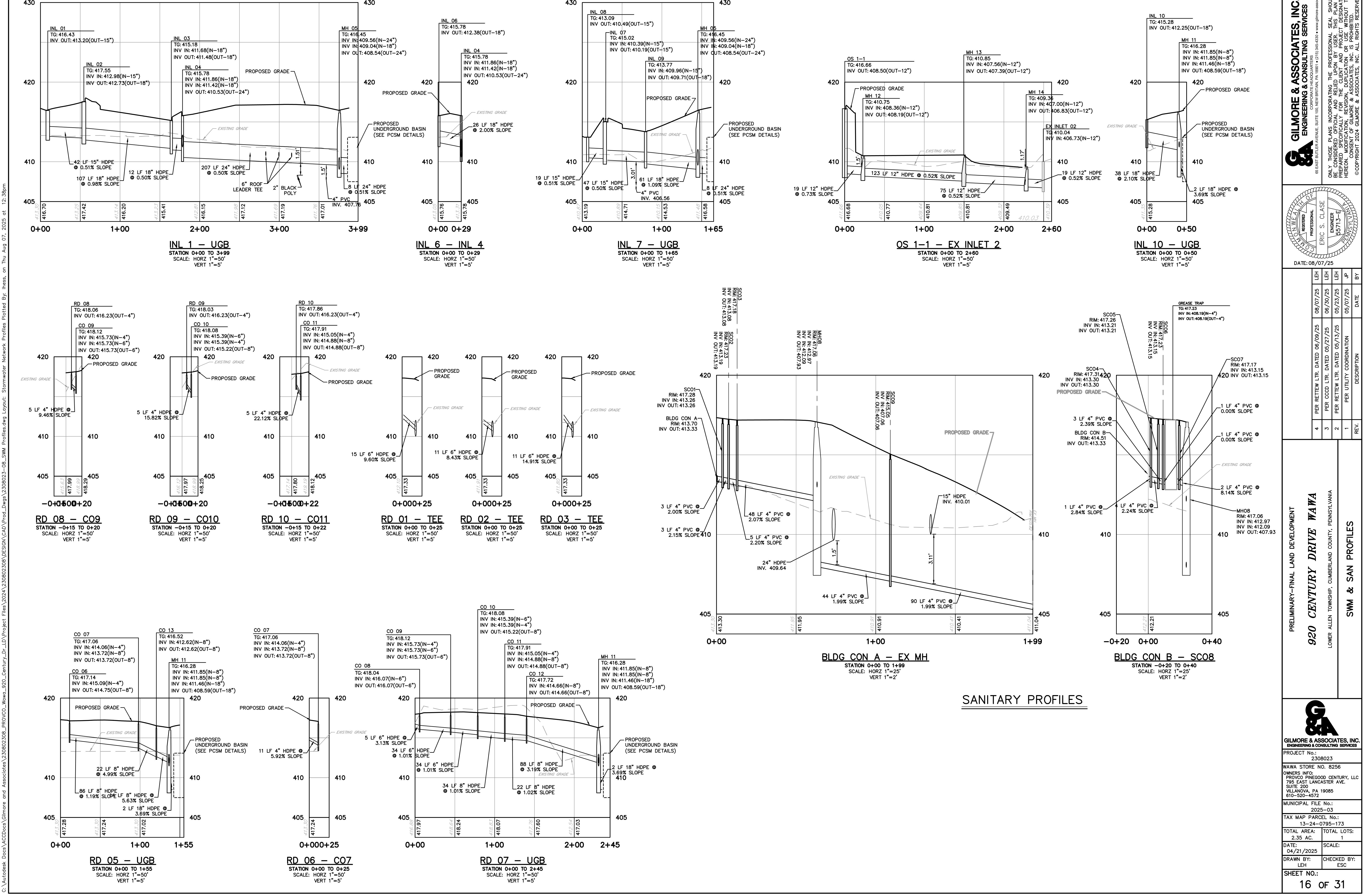
ELEVATION

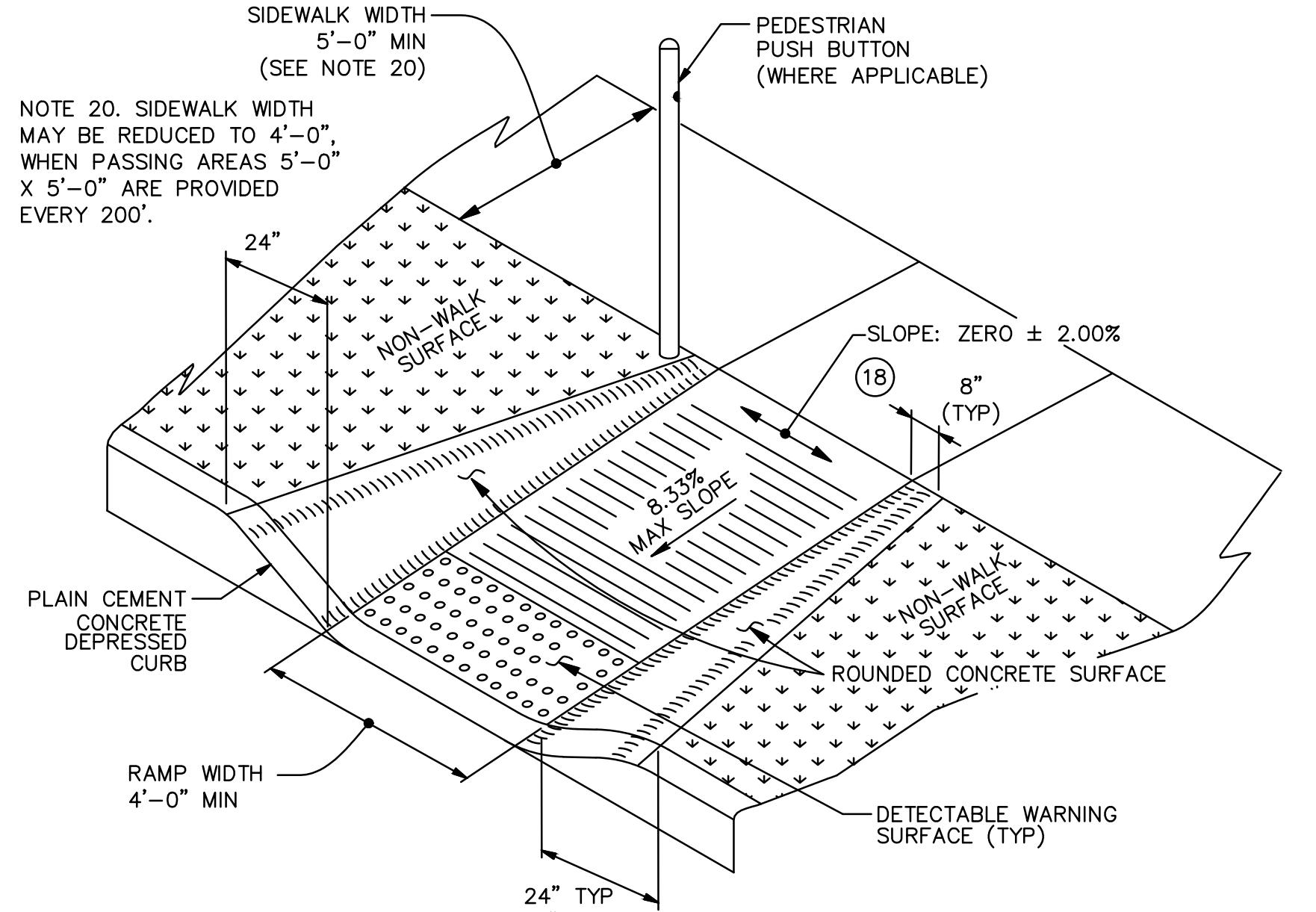
TOP VIEW

SIDE VIEW



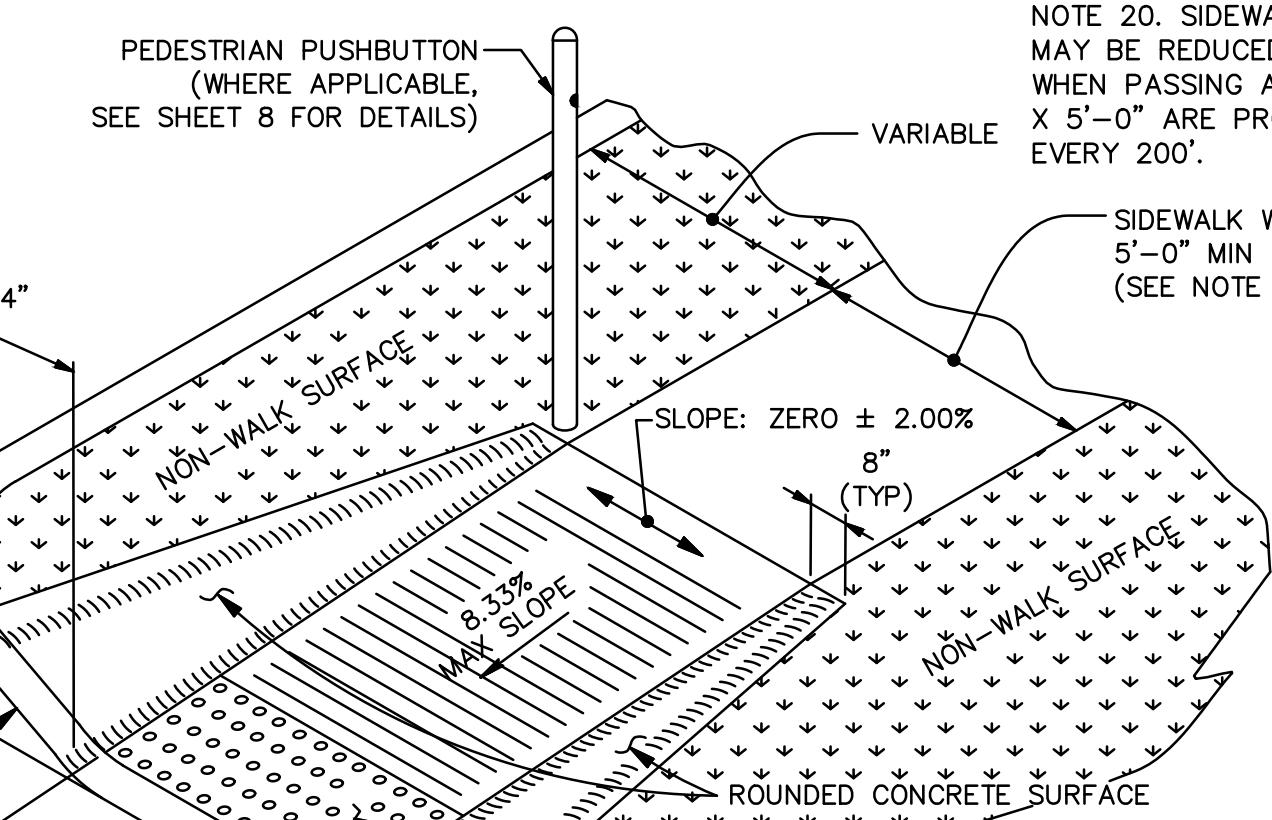






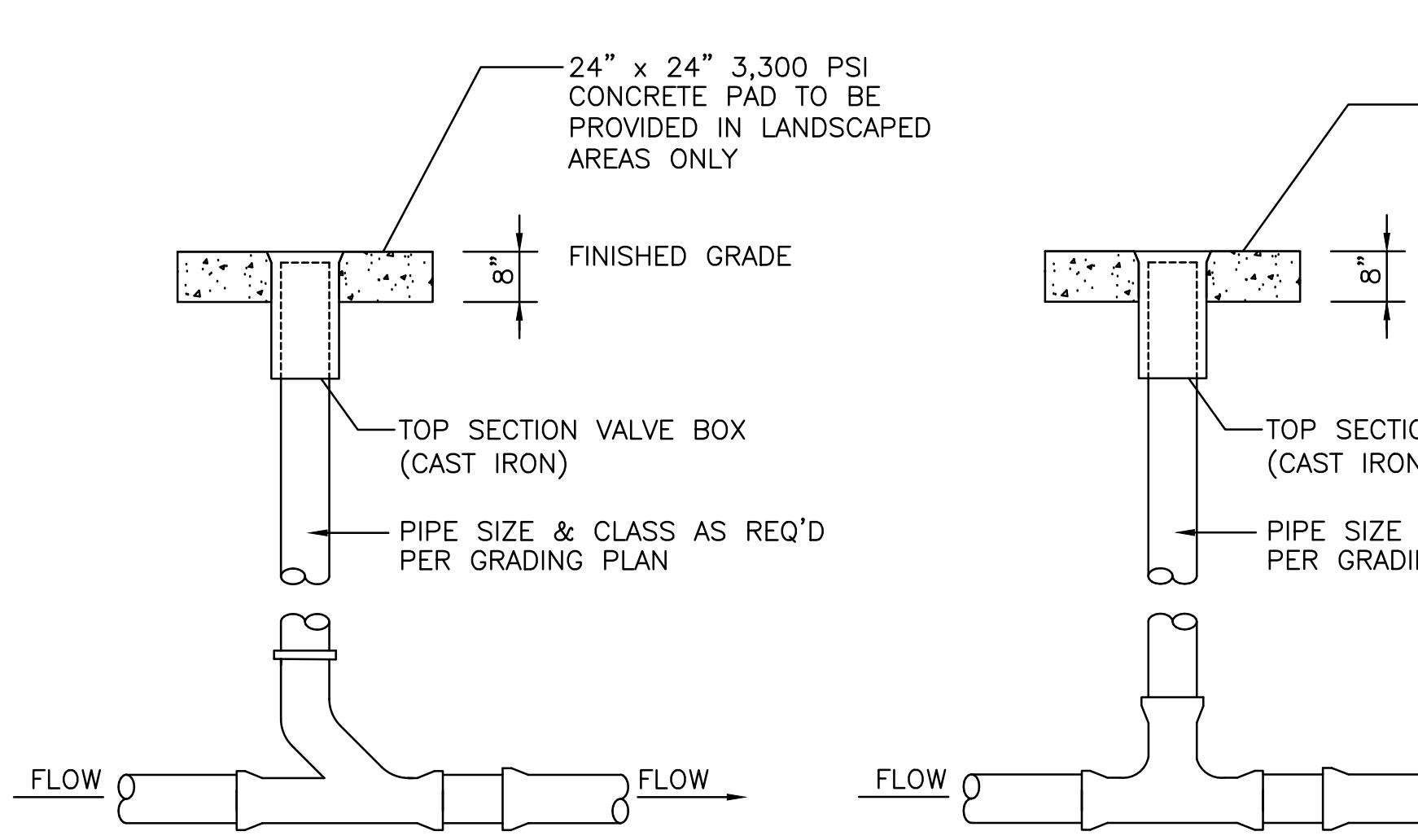
(18) CURB RAMPS REQUIRE A 4'-0" MINIMUM LANDING WITH A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SEE DETAILS FOR LOCATIONS.

ALTERNATE TYPE 4A CURB RAMP (PERPENDICULAR)

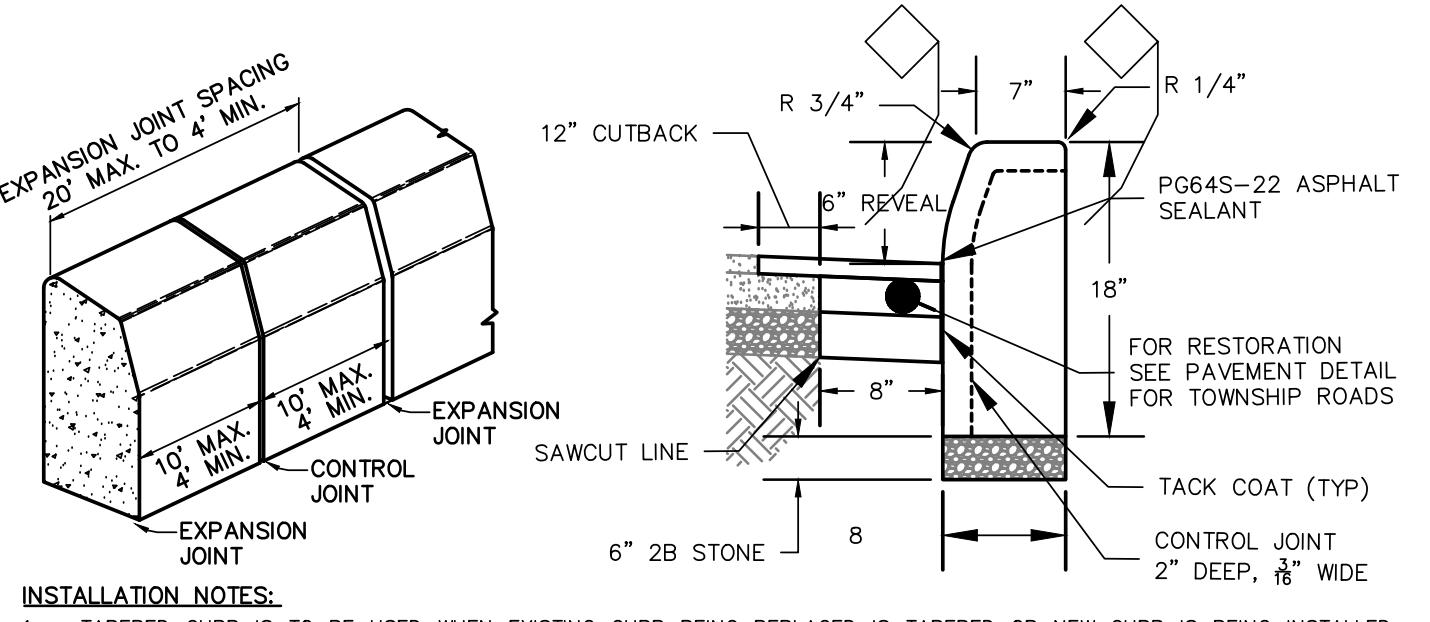


(5) CURB RAMP WIDTH IS EQUAL TO SIDEWALK WIDTH WHEN THE SIDEWALK WIDTH IS GREATER THAN OR EQUAL TO 4'-0".

ALTERNATE TYPE 4A CURB RAMP (PARALLEL)



See Specifications for approved bedding material.
TWO WAY CLEAN-OUT
(Use within 5' of building only)



INSTALLATION NOTES:
1. TAPERED CURB IS TO BE USED WHEN EXISTING CURB IS BEING REPLACED IS TAPERED OR NEW CURB IS BEING INSTALLED.
2. ALL CONCRETE TO BE CLASSED FROM PADOT APPROVED SUPPLIER.
3. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM WITH PADOT PUBLICATION 408, LATEST EDITION.
4. EXISTING ROAD SURFACE TO BE SAWCUT ALONG CURB NO MORE THAN 16" MAXIMUM FROM CURB FACE.
5. EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM INTERVAL OF 20 FEET AT THE END OF EVERY DAY, AND ON BOTH SIDES OF ALL STRUCTURES. JOINTS SHALL BE 1/2" THICK PRE-MOLDED MATERIAL.
6. INTERMEDIATE CONTROL JOINTS TYPICAL 2" DEEP X 3/16" WIDE. JOINTS TO BE PLACED AT 10' INTERVALS (MIN. OF 4' FOR CLOSURE OR CURVES).
7. TACK COAT EXISTING PAVEMENT AND ALL VERTICAL SURFACES BELOW PAVING LINE. IF BASE COURSE IS IN PLACE FOR MORE THAN 30 DAYS, THE SURFACE MUST BE CLEANED AND TACK COATED PRIOR TO INSTALLATION OF WEARING COURSE.
8. ALL CONCRETE JOINTS ALONG THE CURBLINE SHALL BE SEALED IN ACCORDANCE WITH 102R.
9. ALL CURB FORMS MUST BE APPROVED BY THE TOWNSHIP ENGINEER. ALL SLIP FORM CONSTRUCTION SHALL BE OBSERVED BY THE TOWNSHIP ENGINEER.

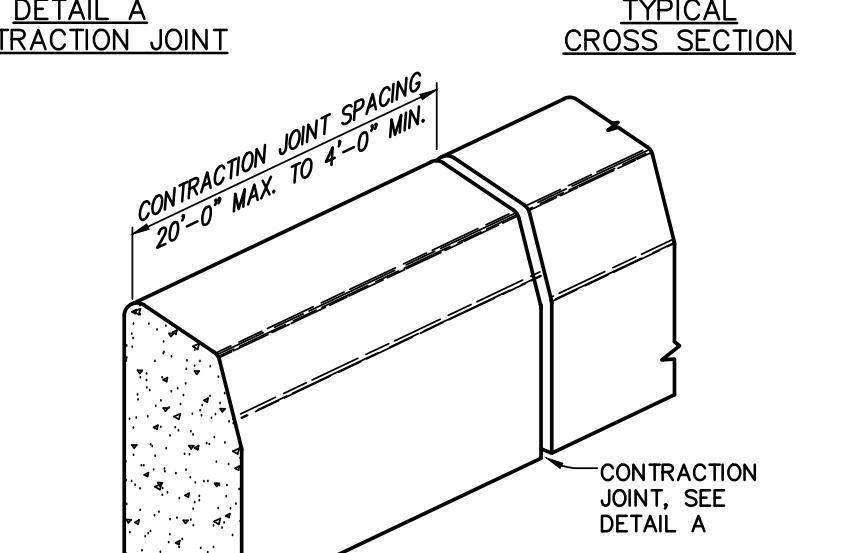
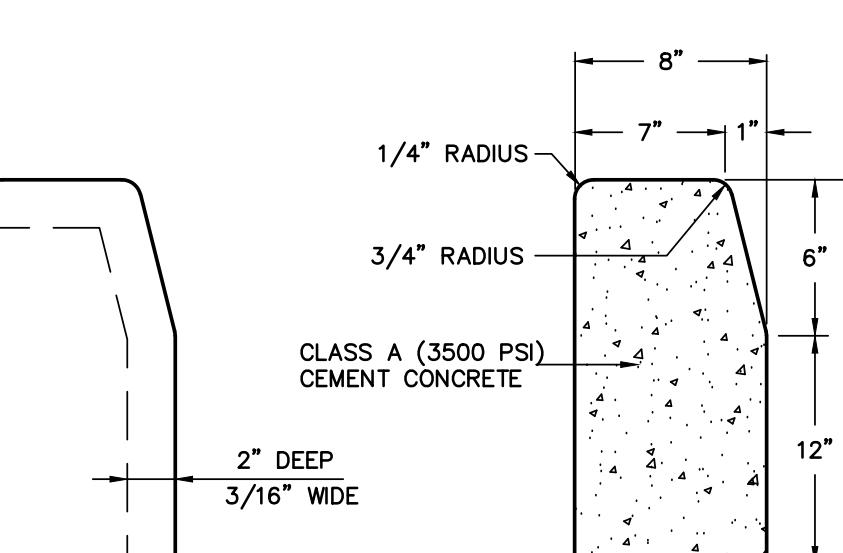
CURB EVALUATION CRITERIA - WHEN EVALUATING CURB FOR REPLACEMENT, IF ONE OF THE APPEARANCE OR MISALIGNMENT CONDITIONS LISTED BELOW EXISTS, THE CURB IS MARKED FOR REPLACEMENT.

1. MISSING CURB.
2. EVIDENCE OF DETERIORATED CONDITION AND/OR SECTIONS ARE LOOSE OR GONE.
3. DIAGONAL CRACKS.
4. MULTIPLE VERTICAL CRACKS IN A 10-FT SECTION. A SINGLE VERTICAL CRACK CAN BE SAW-CUT IF THEY APPEAR TO BE OLD STRESS CRACKS.
5. CHIPS LARGER THAN 2" ACROSS AND 1" DEEP.
6. CURBS THAT HAS BEEN PATCHED OR CAPPED WITH CONCRETE.
7. CURB THAT HAS BEEN ALTERED BY HOMEOWNER. THIS MAINLY OCCURS AT DRIVEWAYS.
8. SIDEWALKS, DRIVEWAY APRONS, AND DRIVEWAY DEPRESSIONS THAT HAVE BEEN PAVED OVER WITH ASPHALT.
9. THE CURB HAS DROPPED OR RAISED AND THE TOP IS MISALIGNED MORE THAN 1/8".
10. THE CURB IS LEANING FORWARD TOWARDS THE ROAD SURFACE OR BACK TO THE GRASS STRIP AND IS MISALIGNED MORE THAN 1/8" ALONG THE VERTICAL JOINT.
11. IF THE CURB HAS BEEN PUSHED AND IS MISALIGNED BY MORE THAN 1/8".
12. TOP OF CURB AND FACE OF CURB IS MISALIGNED BY MORE THAN 1/8".
13. TOP OF CURB AND FACE OF CURB SHALL BE FREE OF SURFACE DEFECTS. (I.E. HONEY COMB).

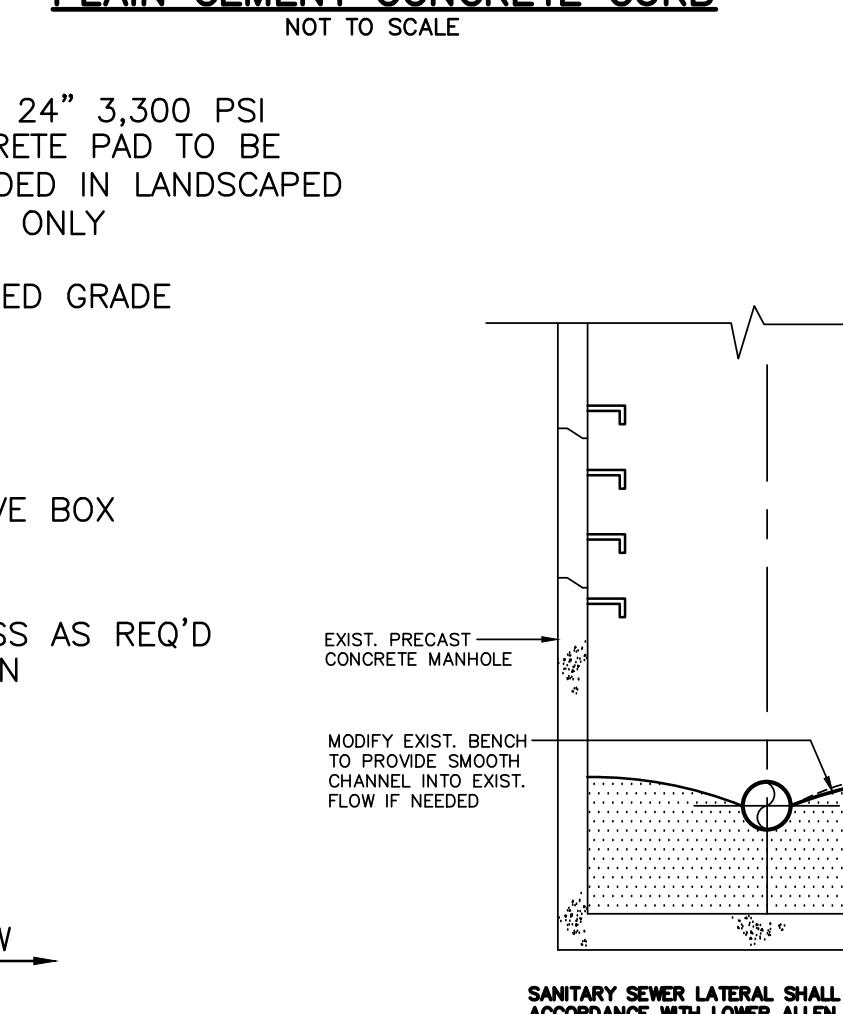
CURB REPLACEMENT STANDARDS

1. THE SHORTEST SECTION OF CURB TO BE REPLACED IS 5 FEET.
2. THE EXISTING ROADWAY MAY BE SAW CUT & FULL FORMS ARE TO BE USED ON THE FACE OF CURB UNLESS APPROVED IN ADVANCE BY THE TOWNSHIP ENGINEER.
3. MONOLITHIC POURS OF CURB & DRIVEWAY APRON ARE NOT PERMITTED UNLESS APPROVED IN ADVANCE BY THE TOWNSHIP ENGINEER.
4. EXPANSION MATERIAL IS REQUIRED TO BE PLACED AGAINST THE EXISTING CONCRETE.

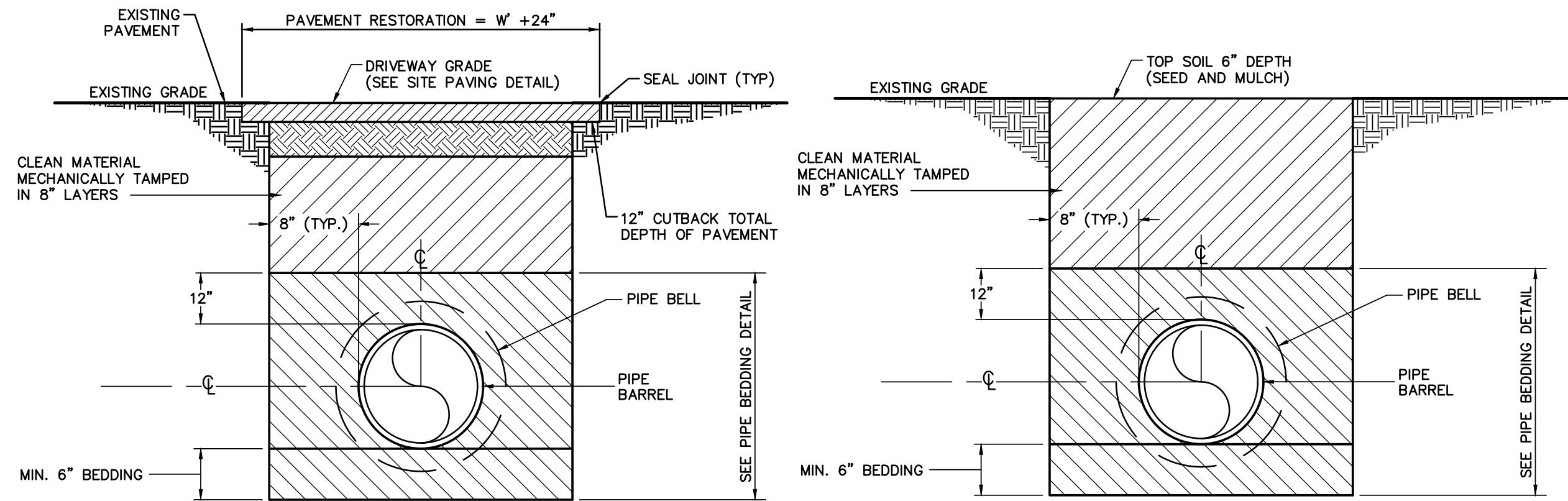
NOTE 20. SIDEWALK WIDTH MAY BE REDUCED TO 4'-0" WHEN PASSING AREAS 5'-0" X 5'-0" ARE PROVIDED EVERY 200'.



PLAIN CEMENT CONCRETE CURB

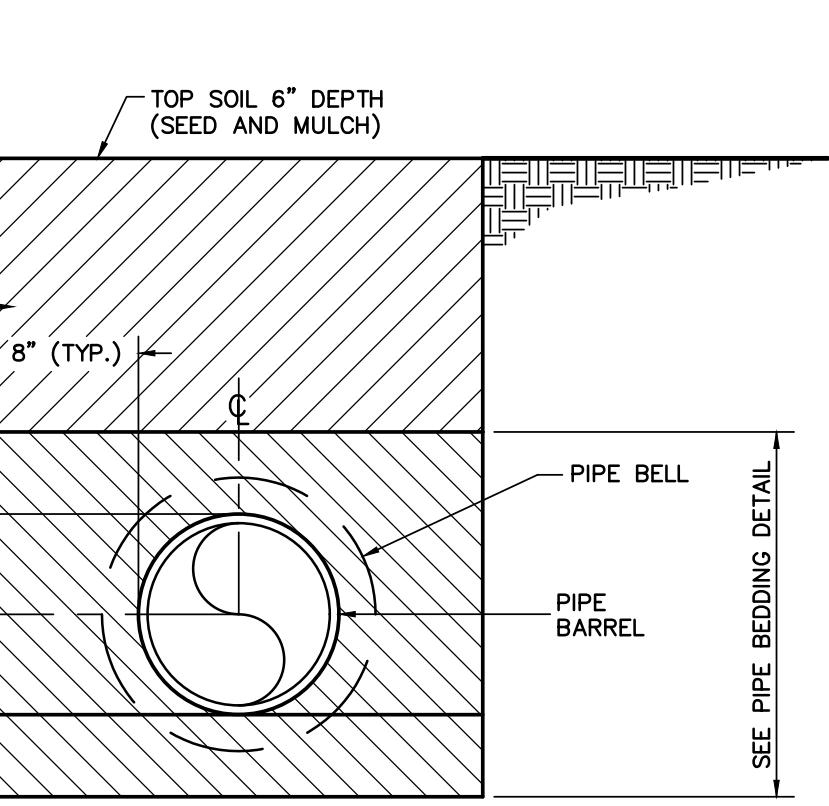


CORE DRILLED CONNECTION TO EXISTING MANHOLE
NOT TO SCALE
SANITARY SEWER LATERAL SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOWER ALLEN TOWNSHIP RULES AND REGULATIONS.



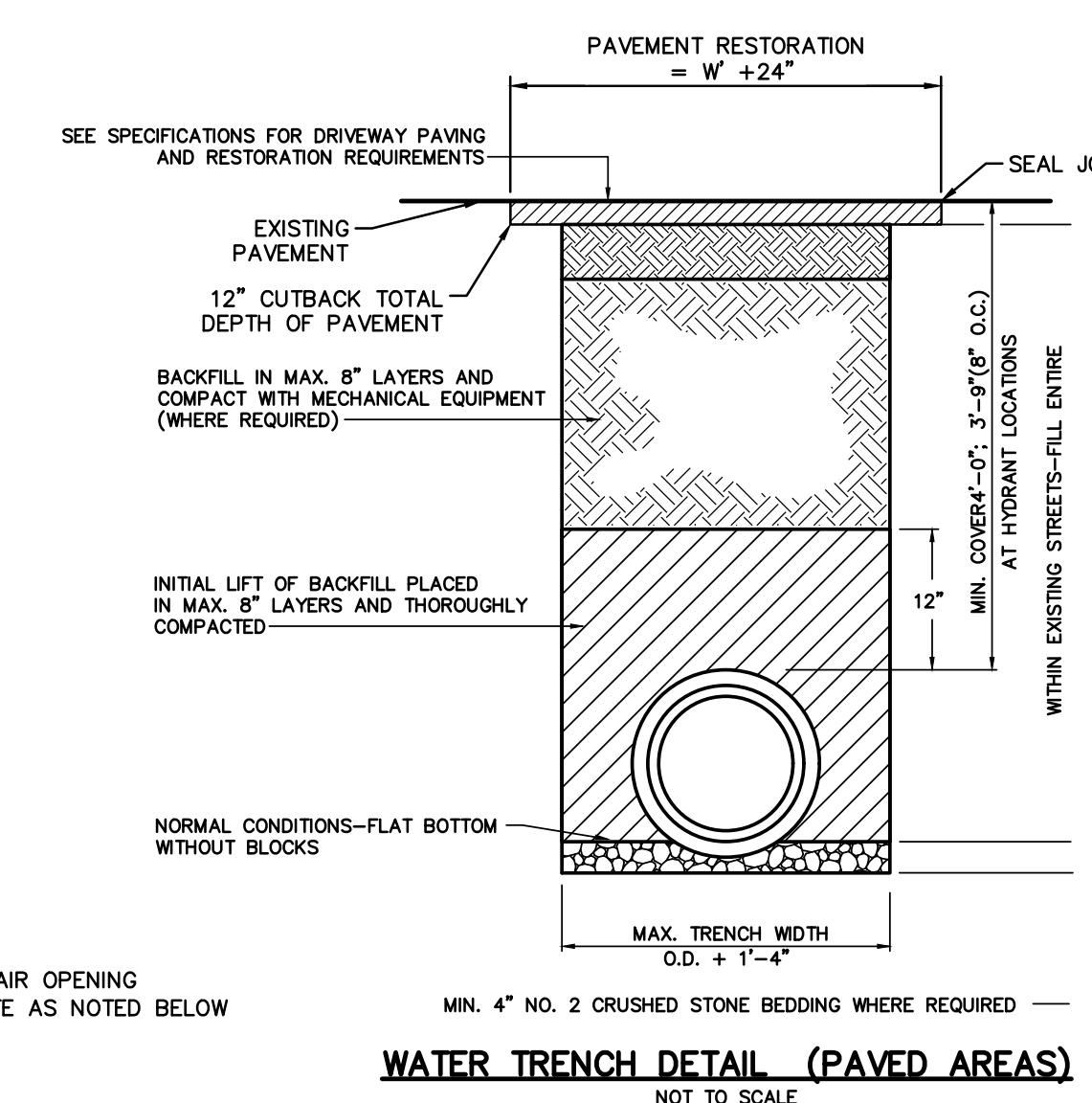
SANITARY TRENCH DETAIL PAVED AREAS

NOT TO SCALE



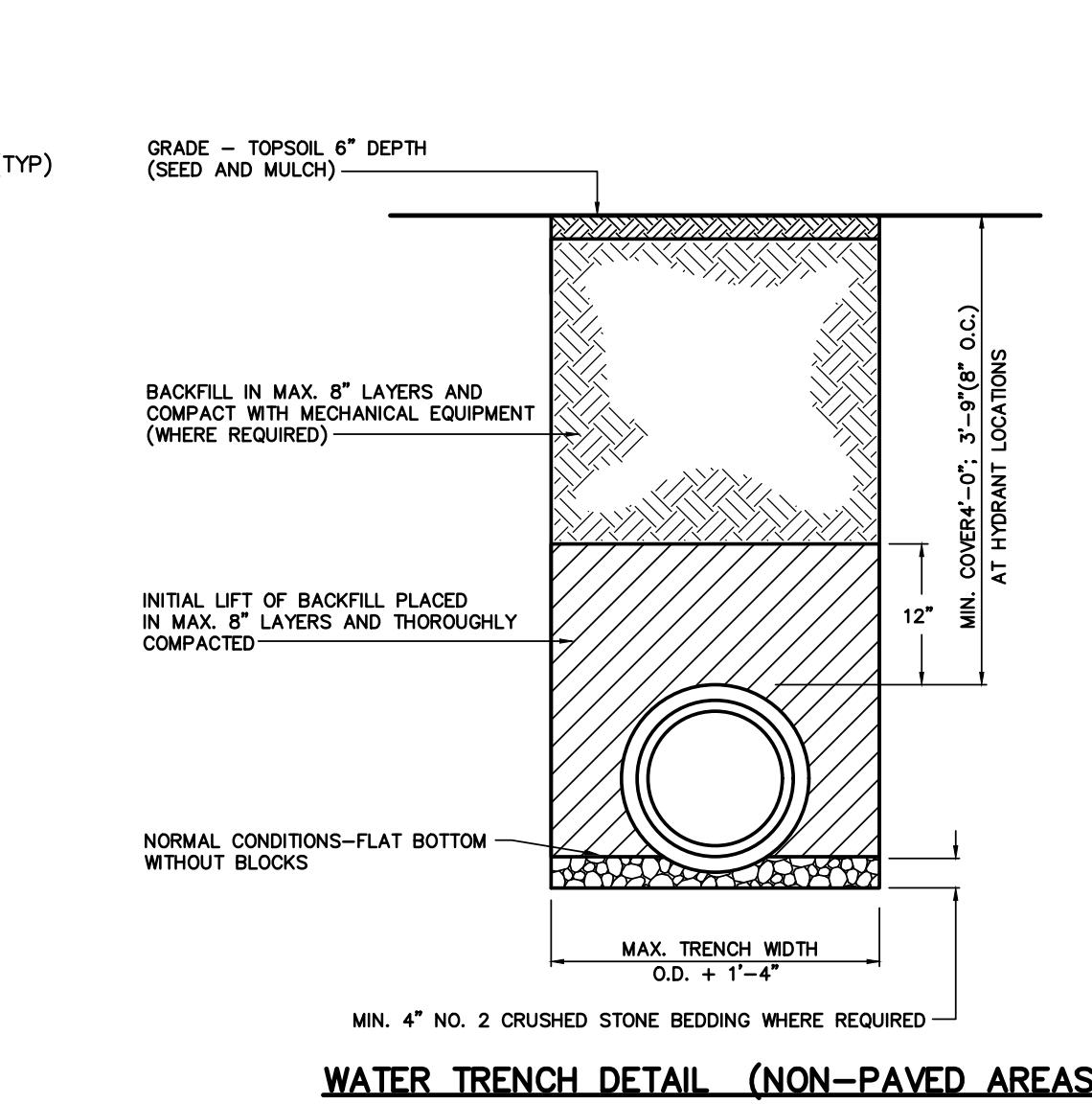
SANITARY TRENCH DETAIL NON-PAVED AREAS

NOT TO SCALE



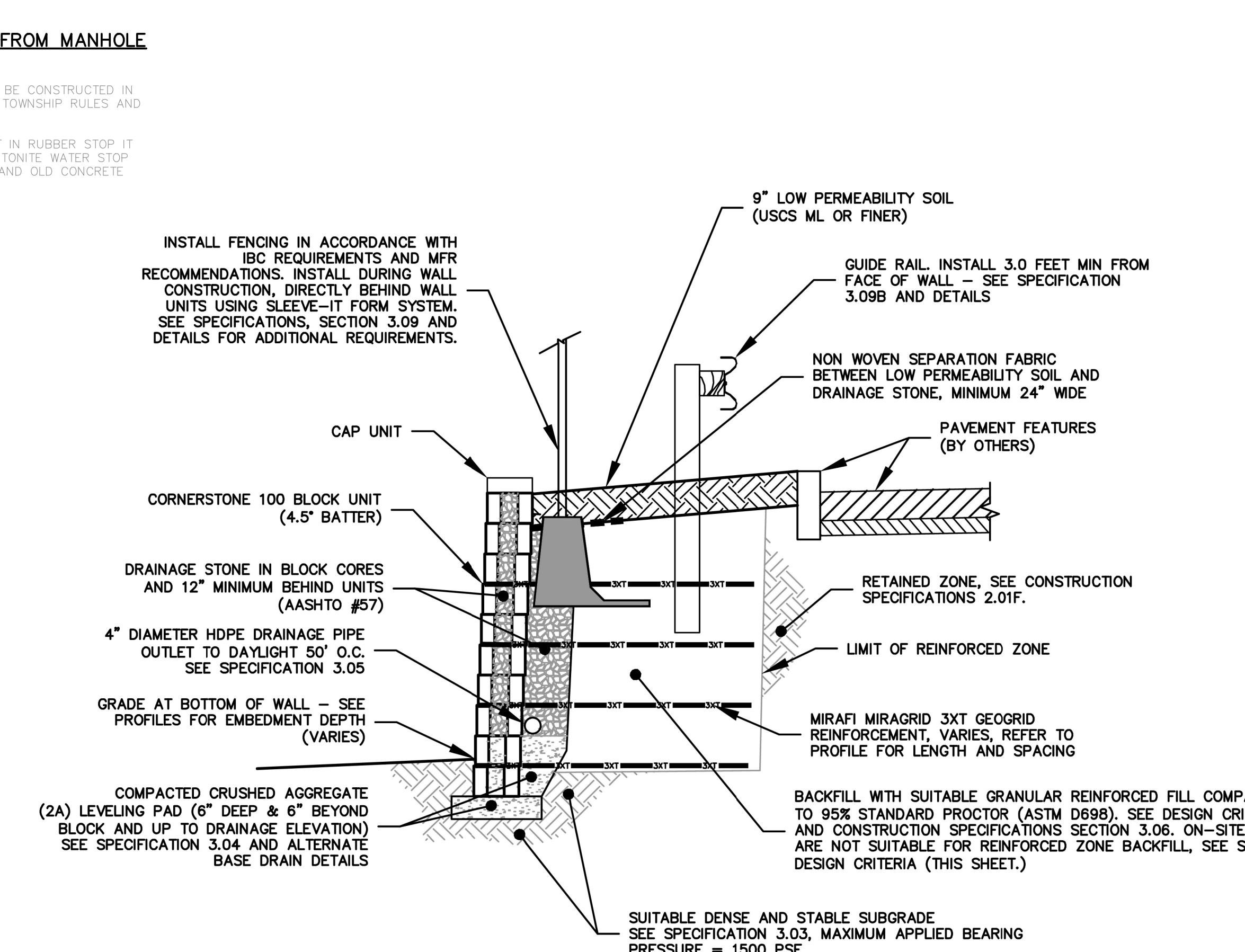
WATER TRENCH DETAIL (PAVED AREAS)

NOT TO SCALE



WATER TRENCH DETAIL (NON-PAVED AREAS)

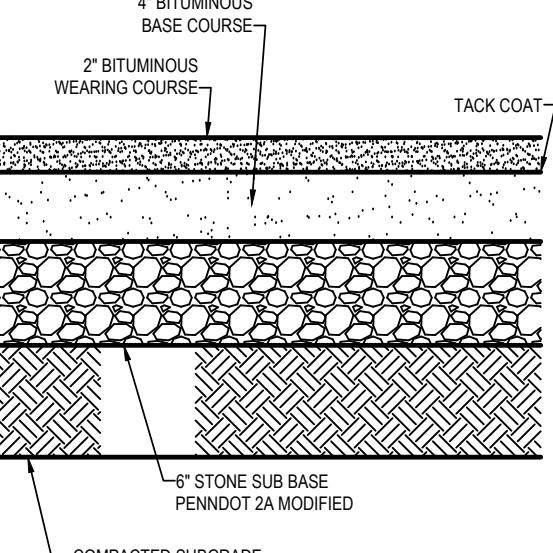
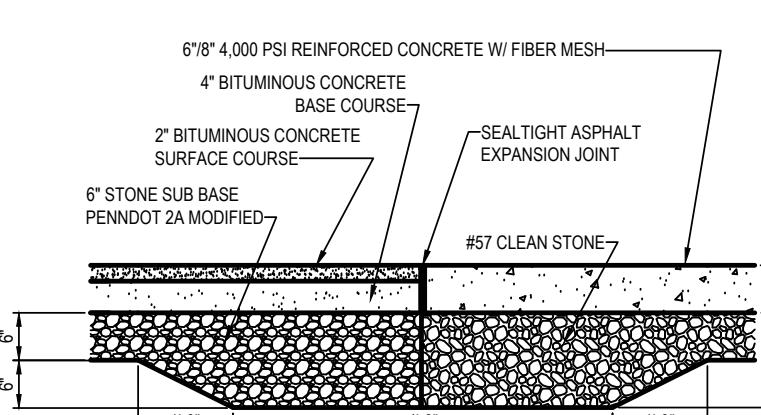
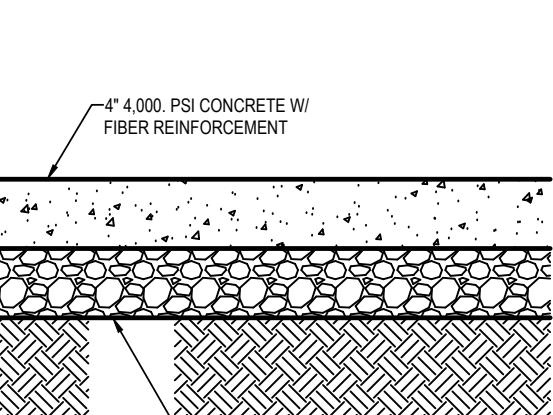
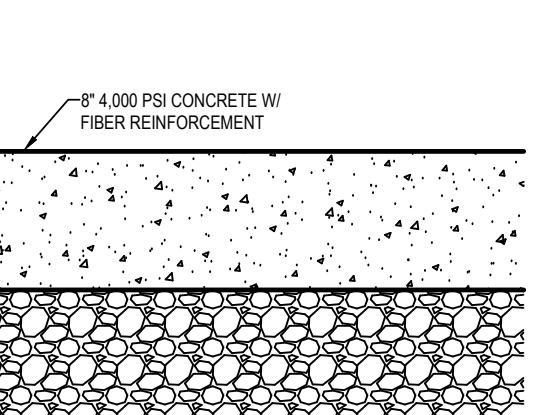
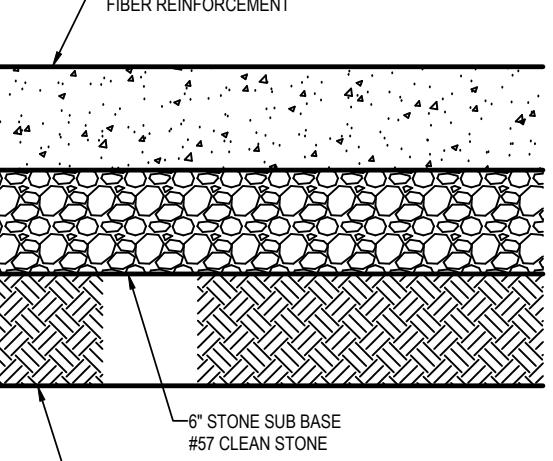
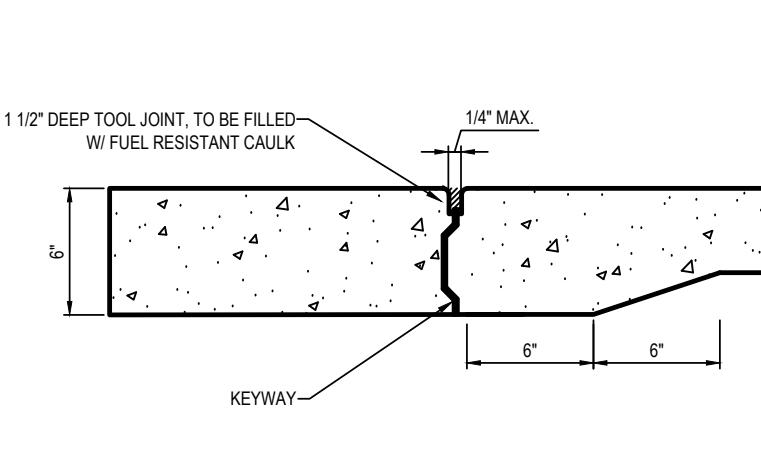
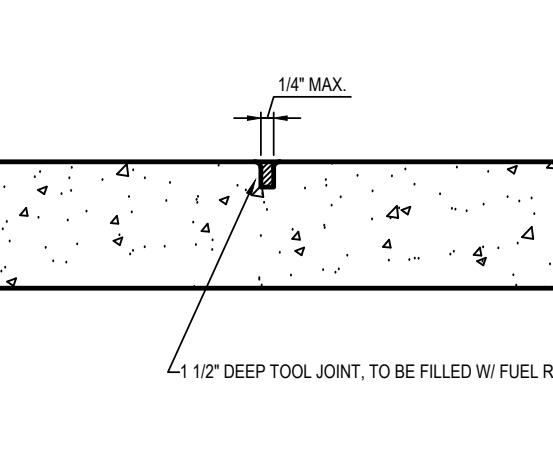
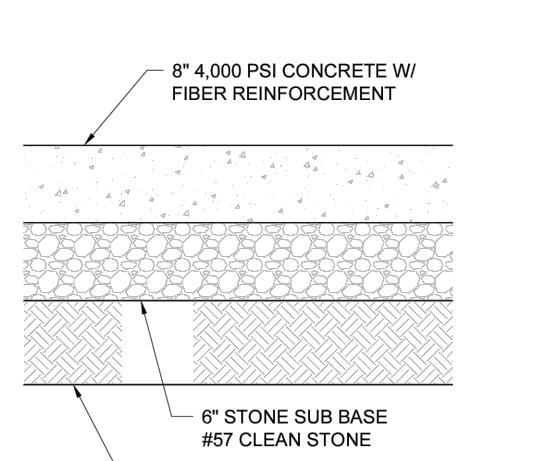
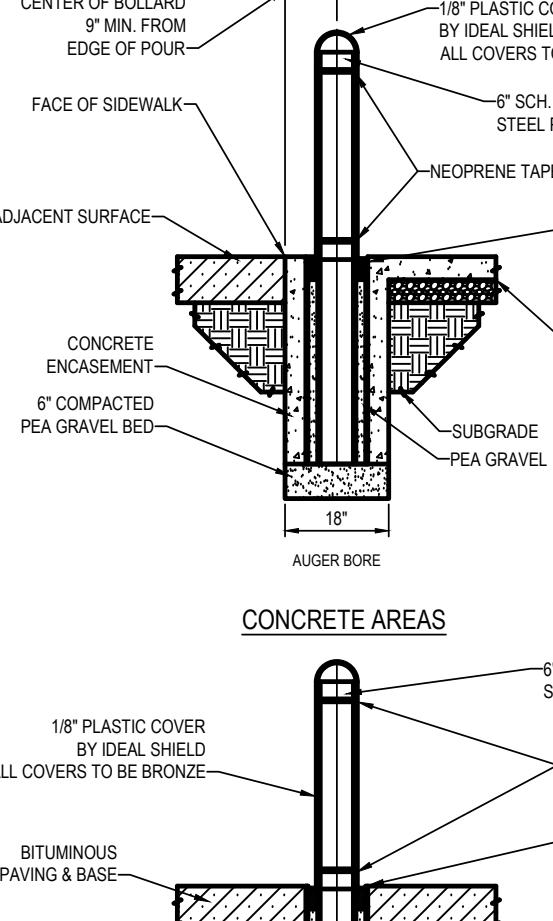
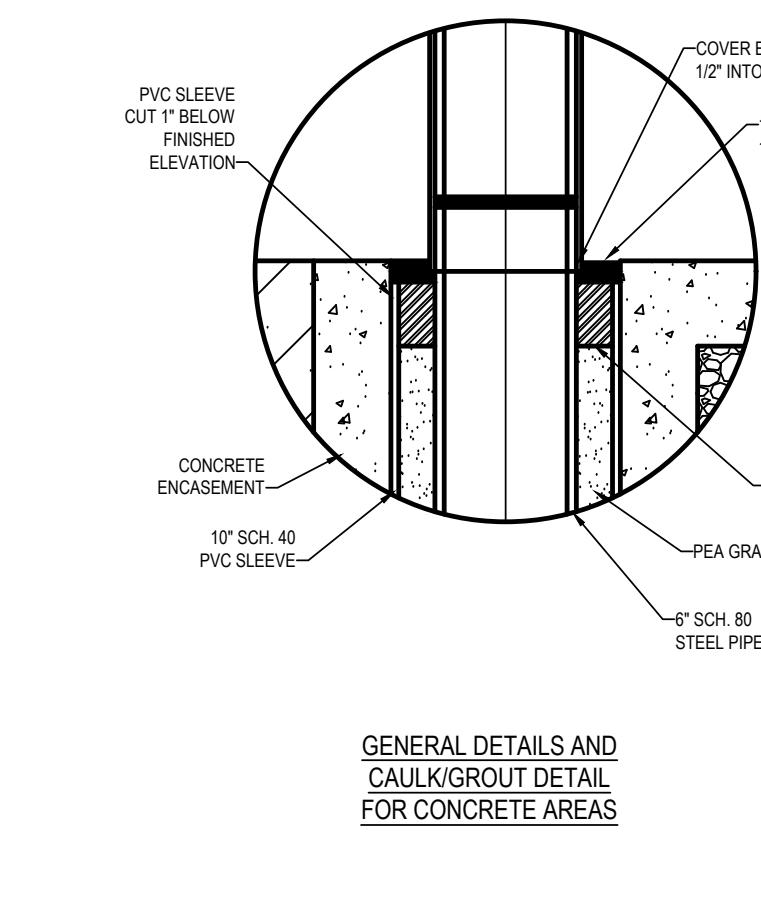
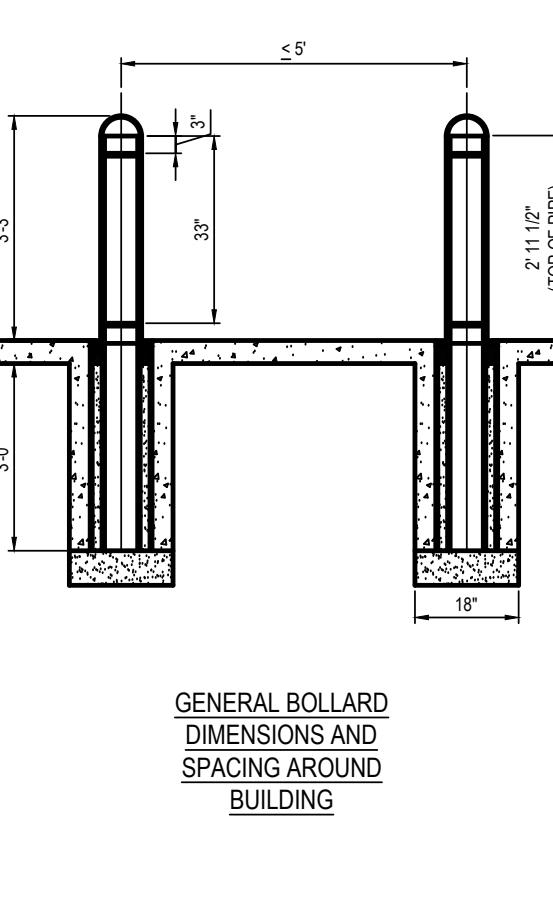
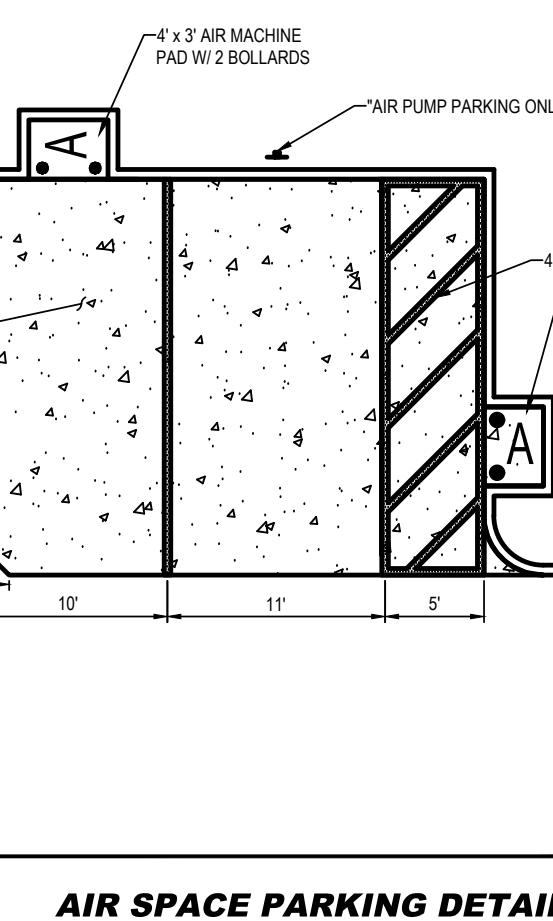
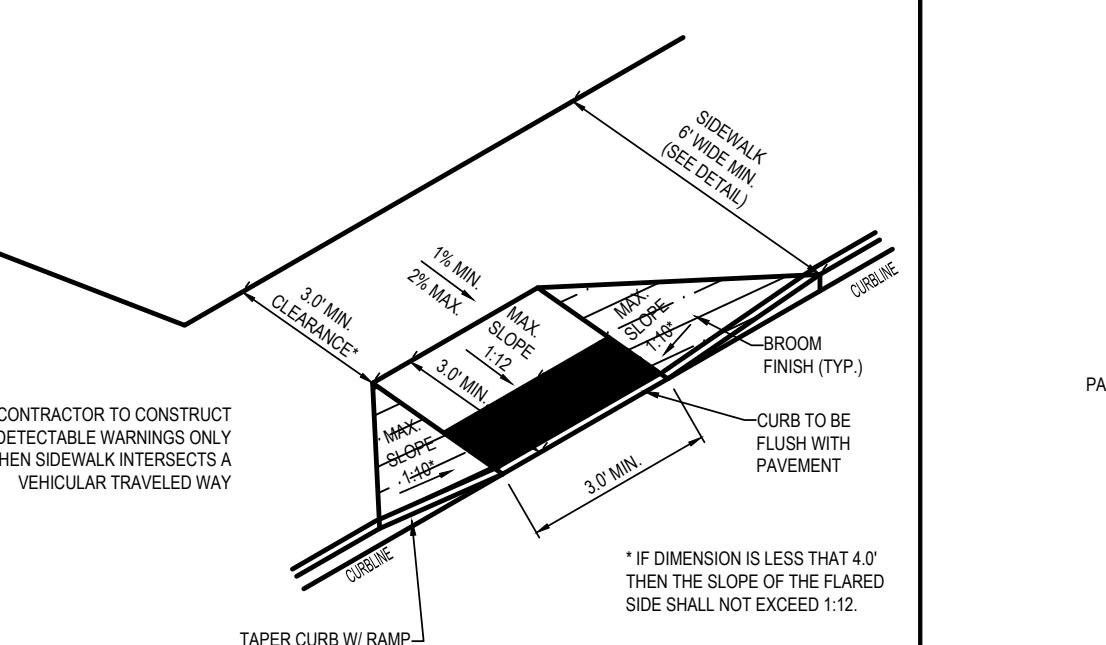
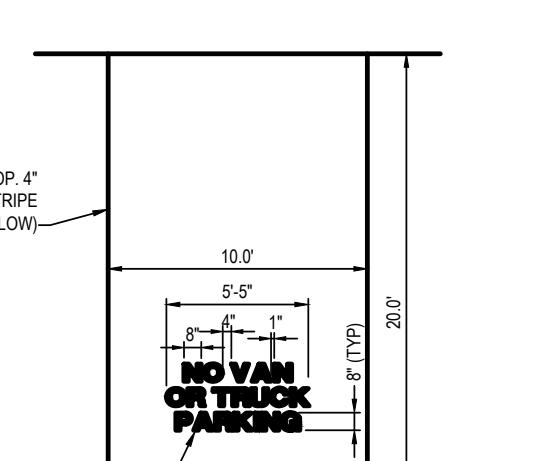
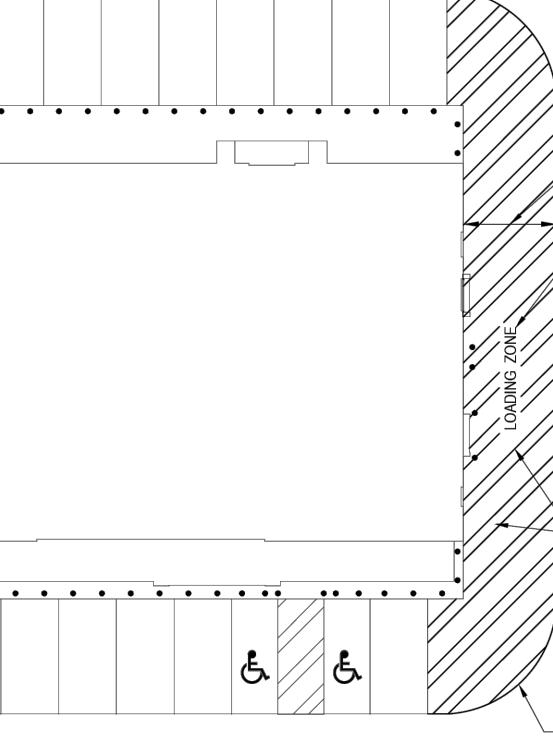
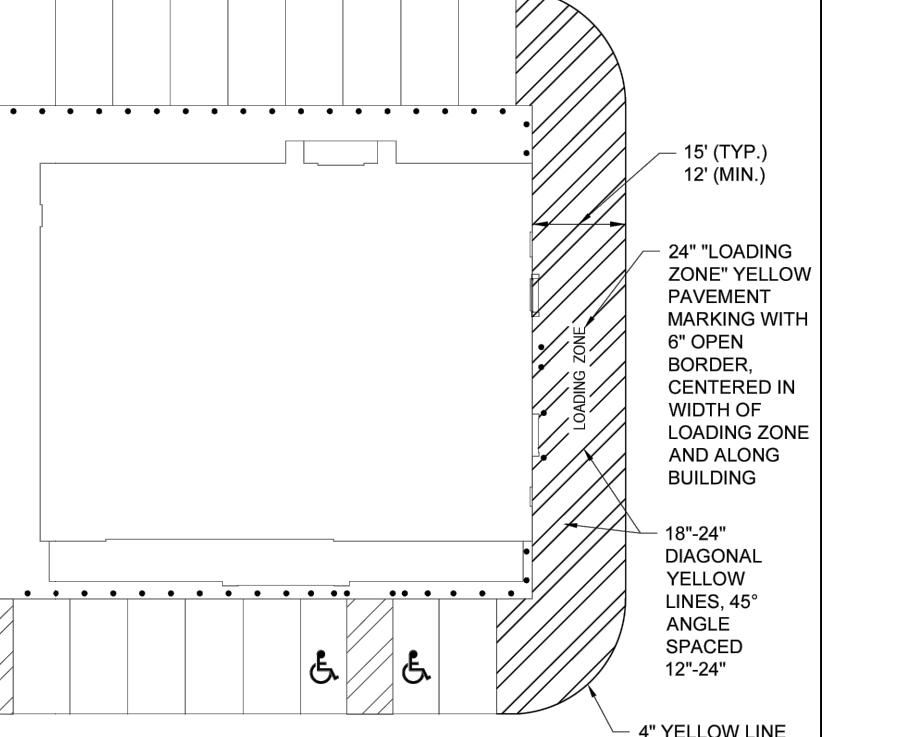
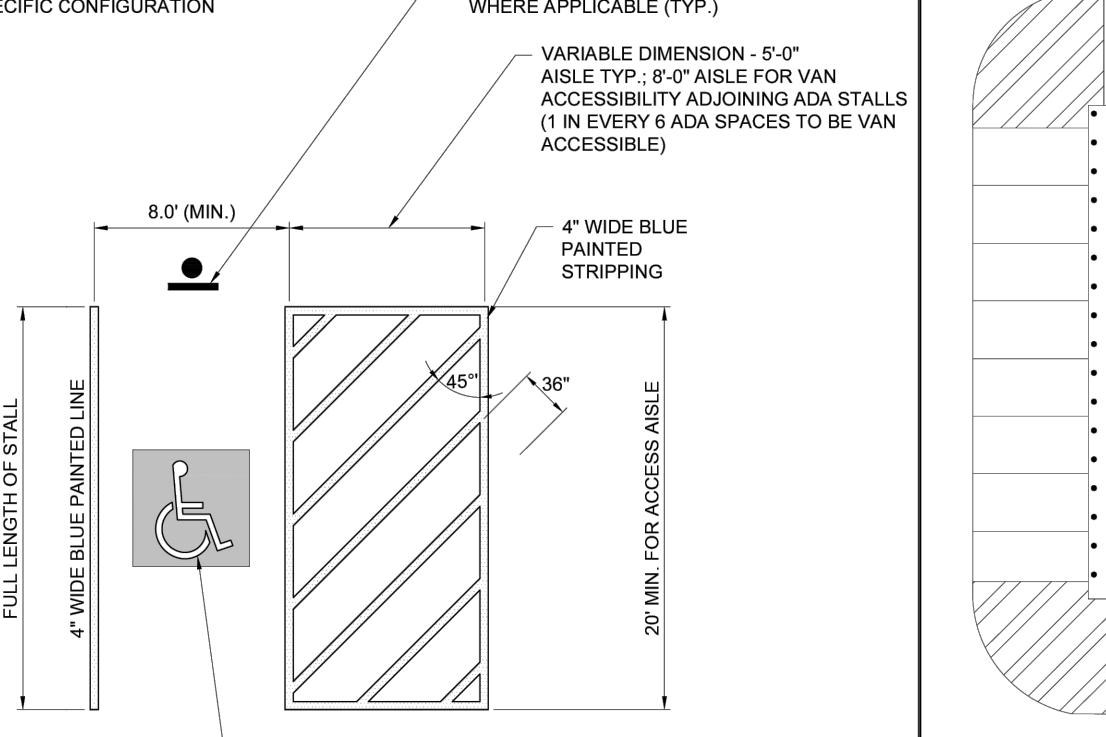
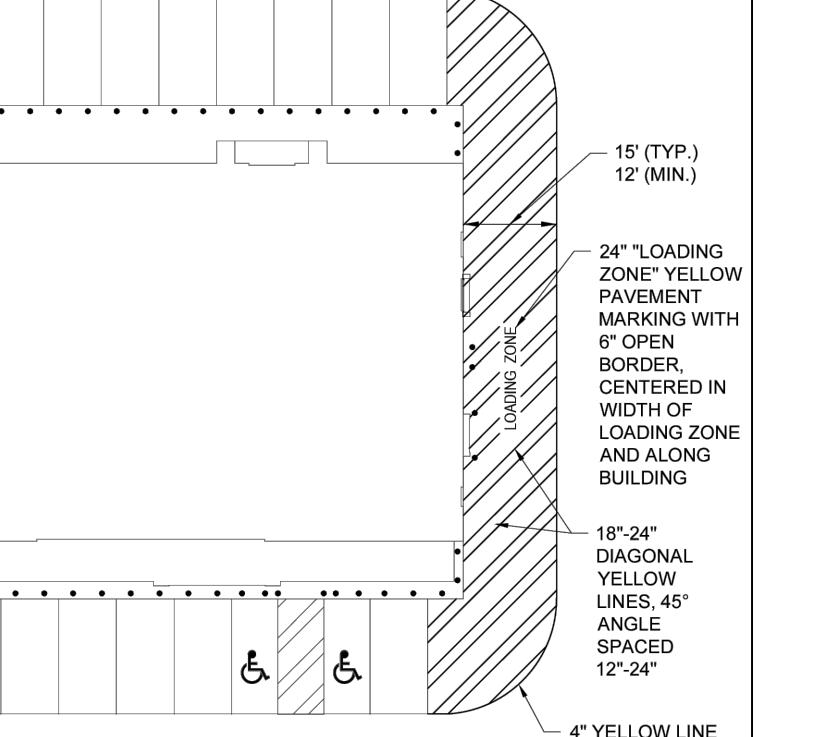
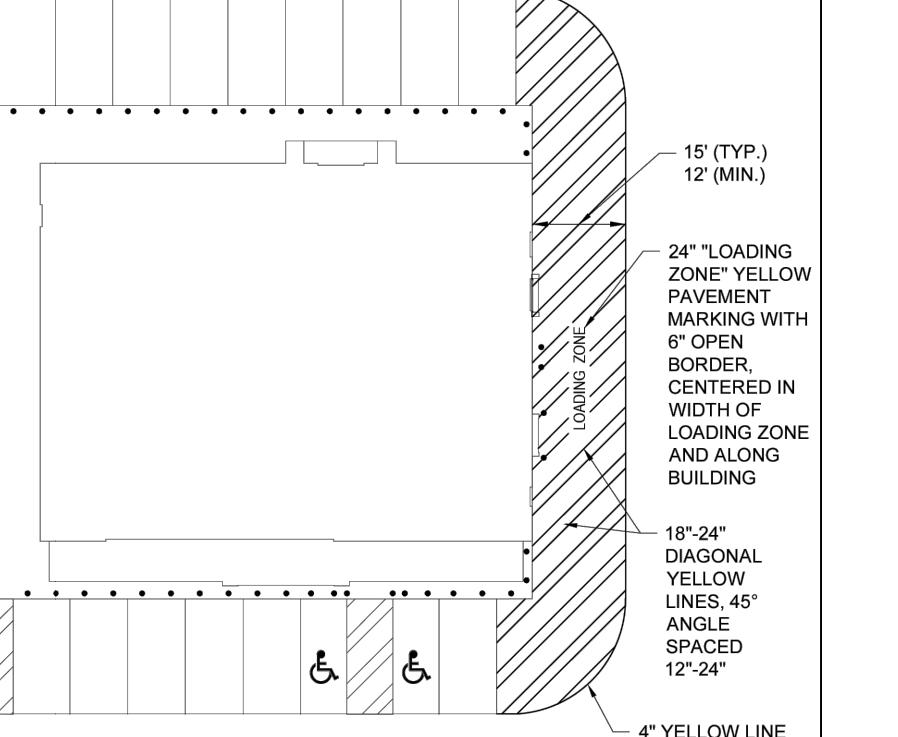
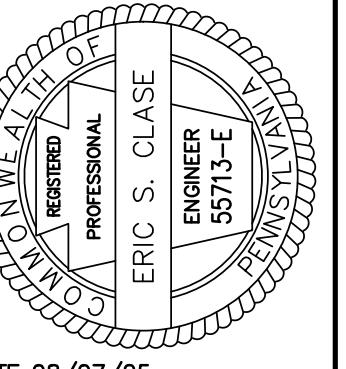
NOT TO SCALE

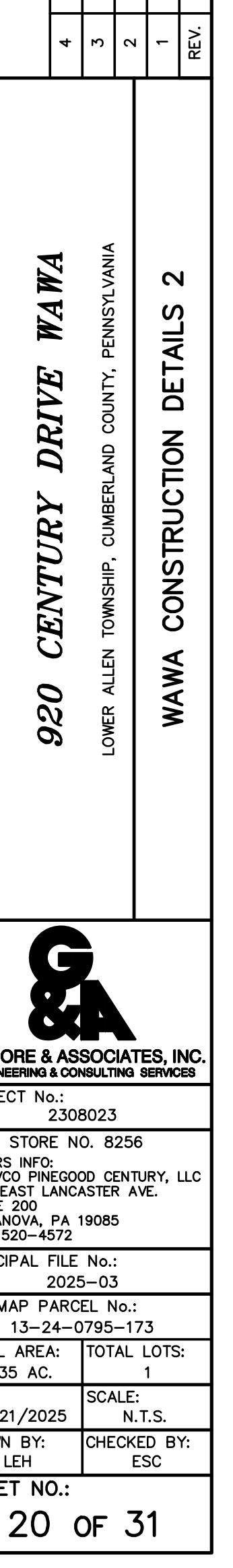
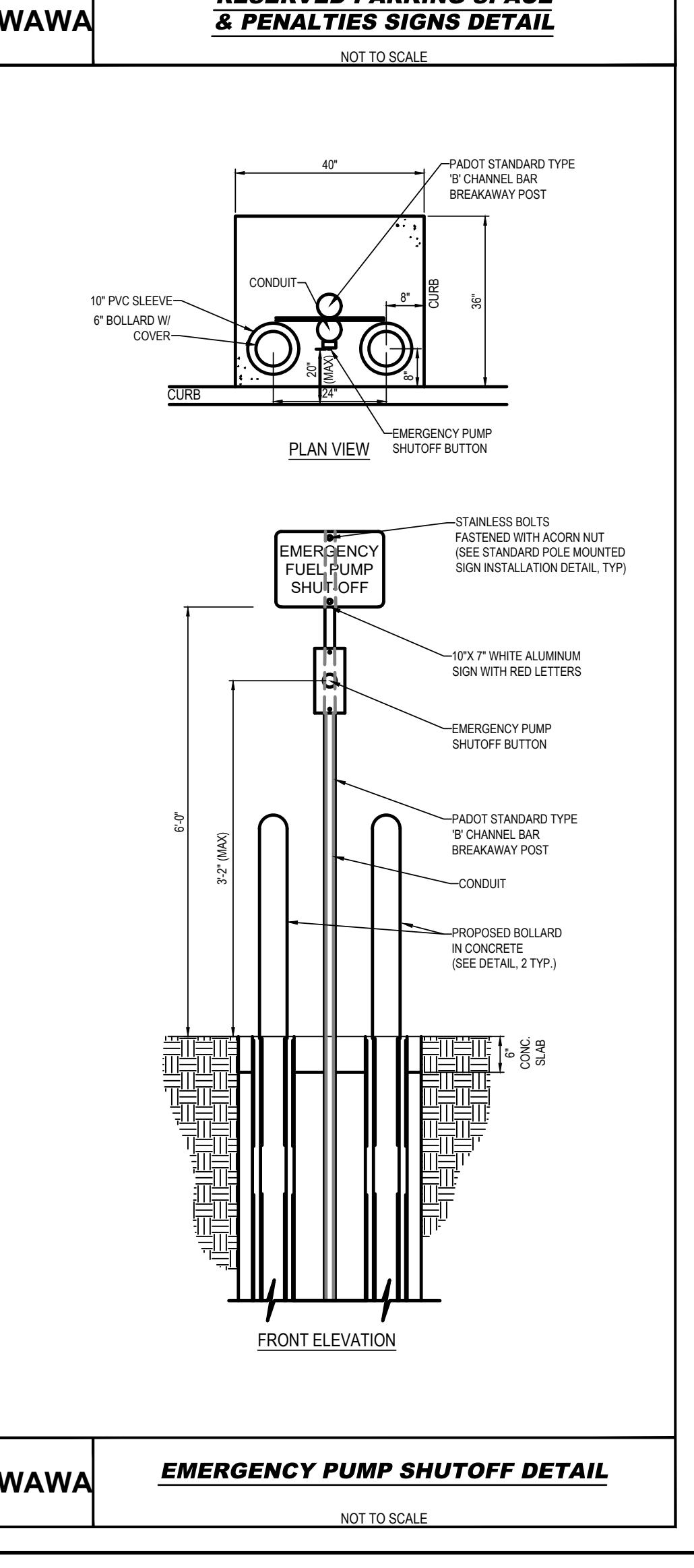
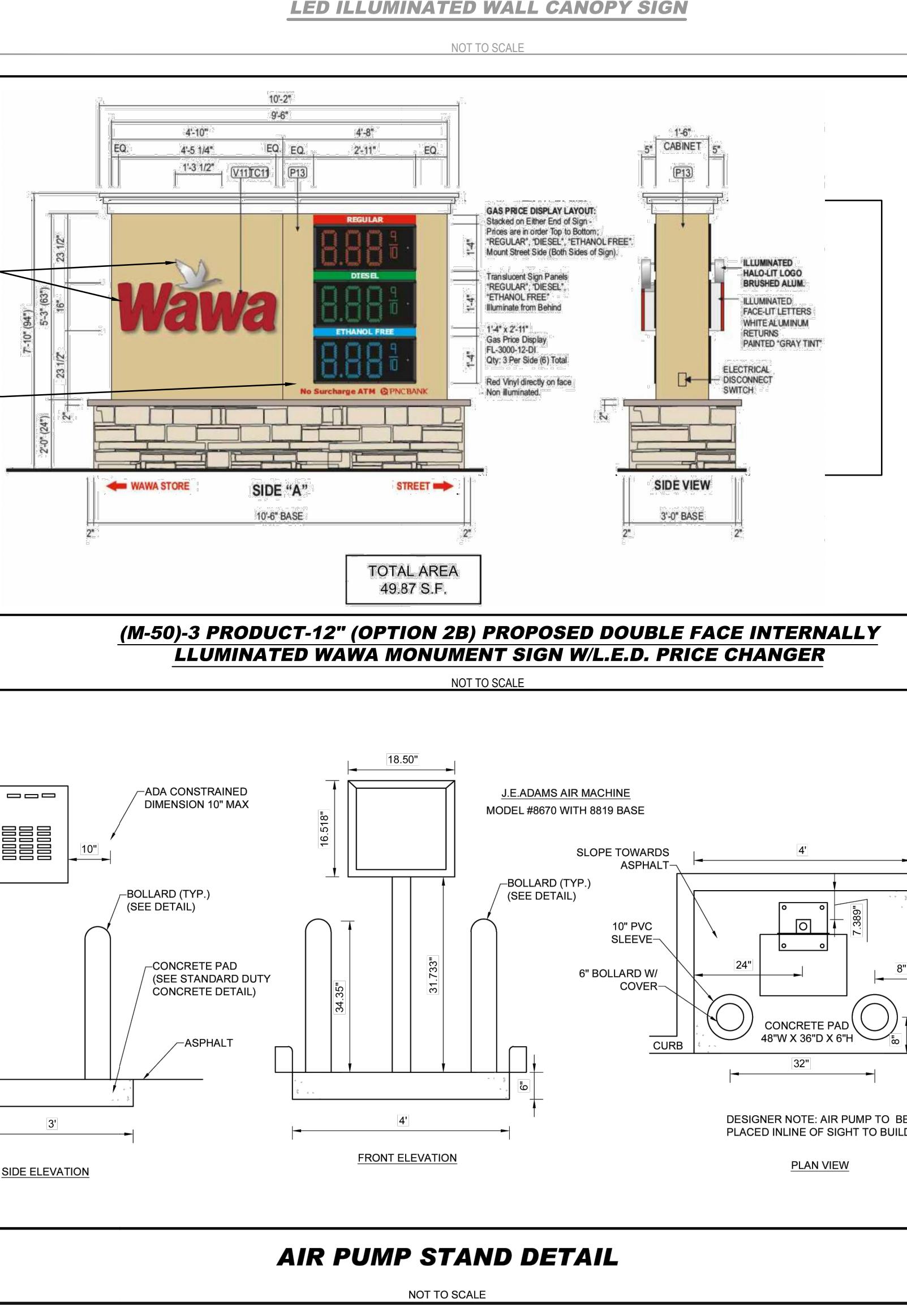
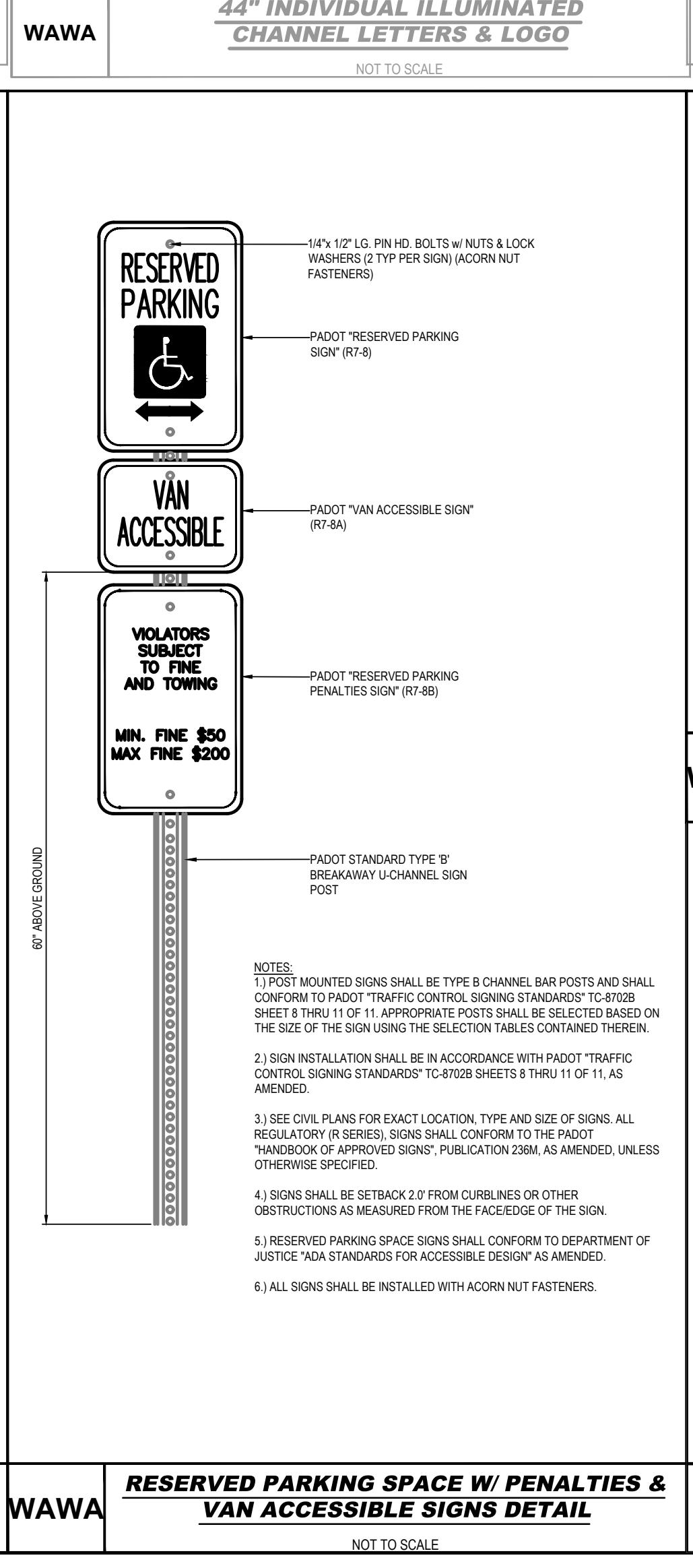
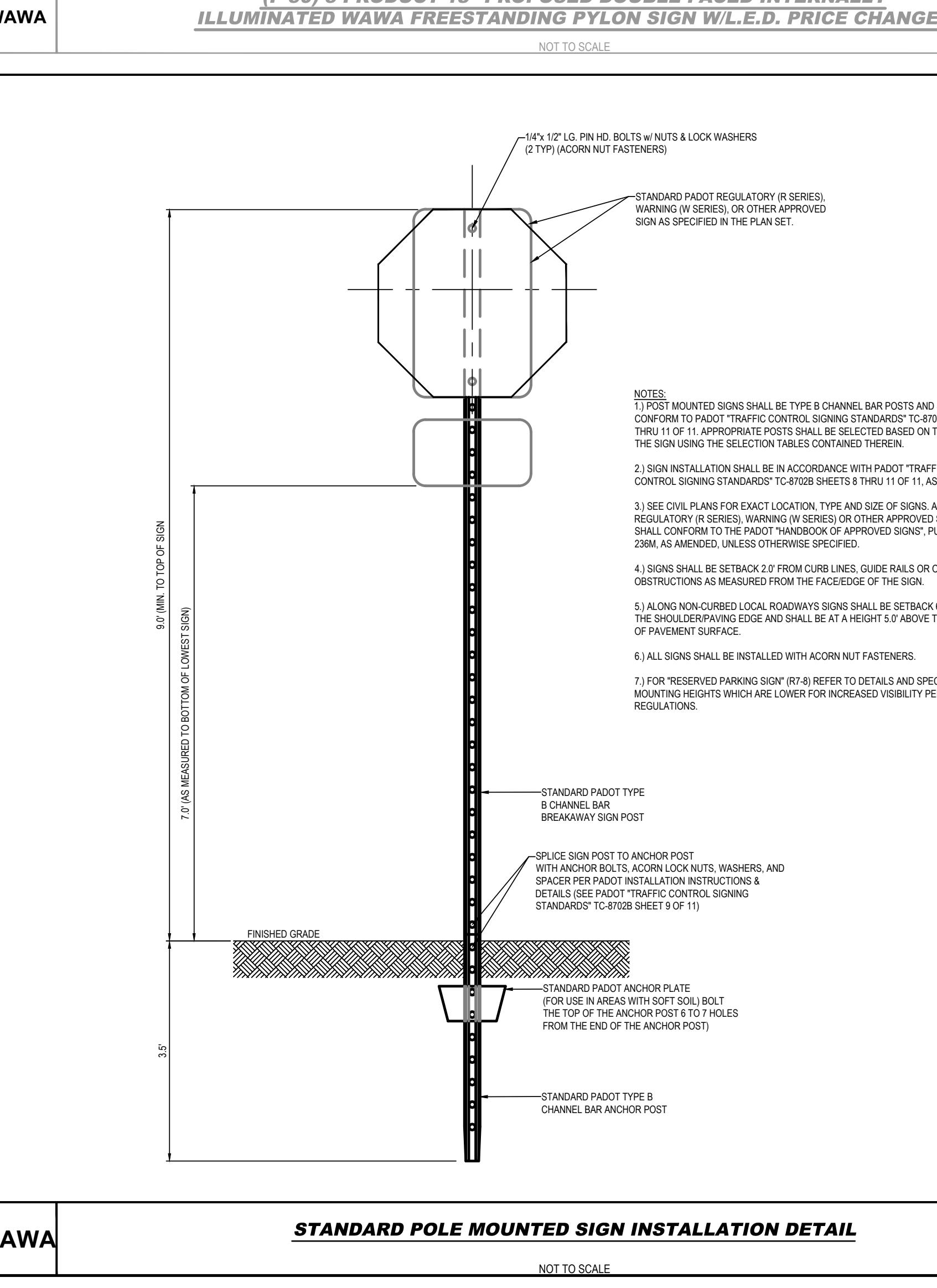
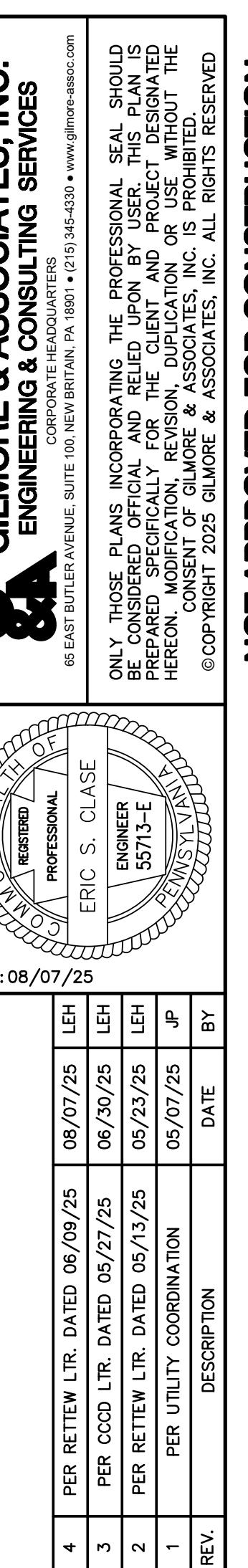
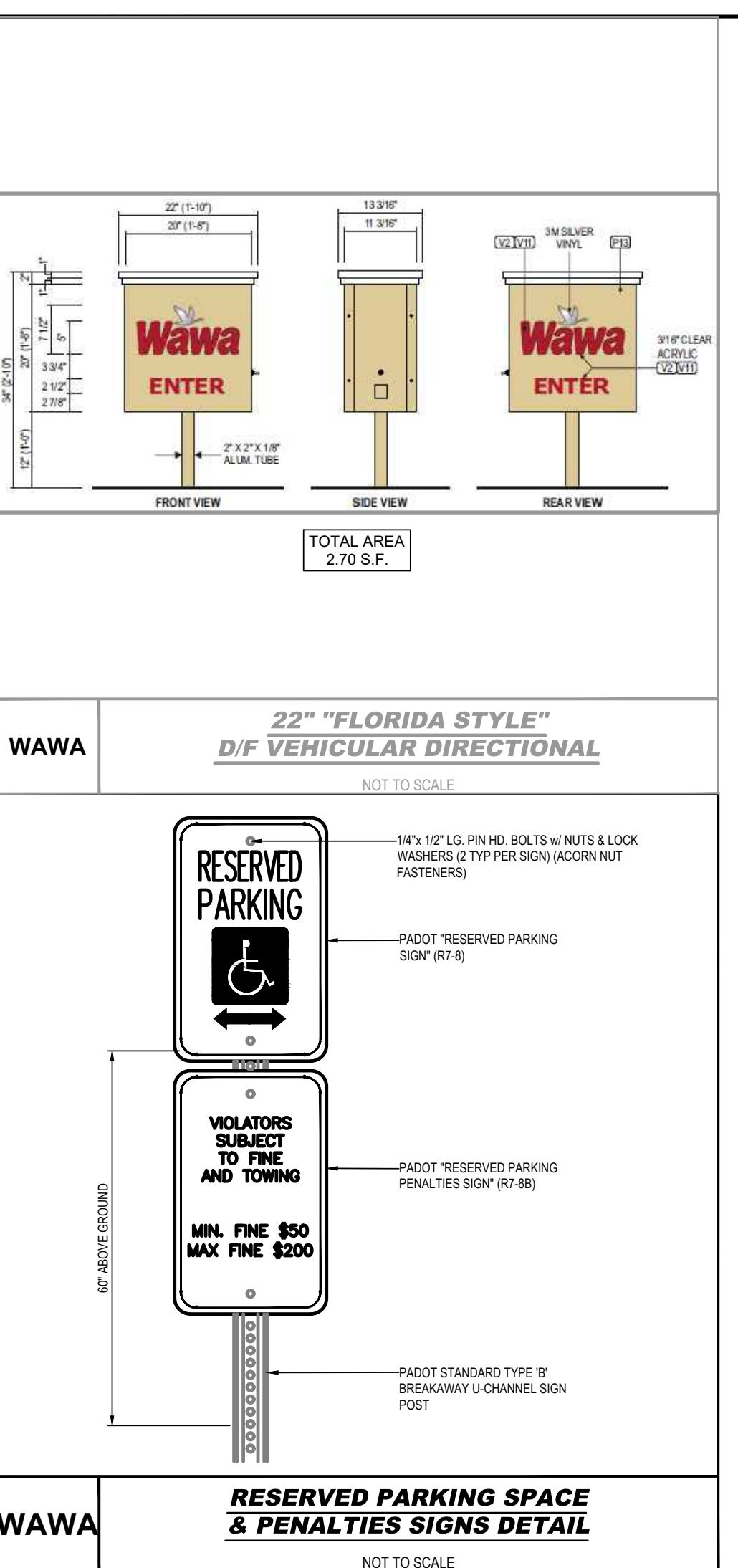
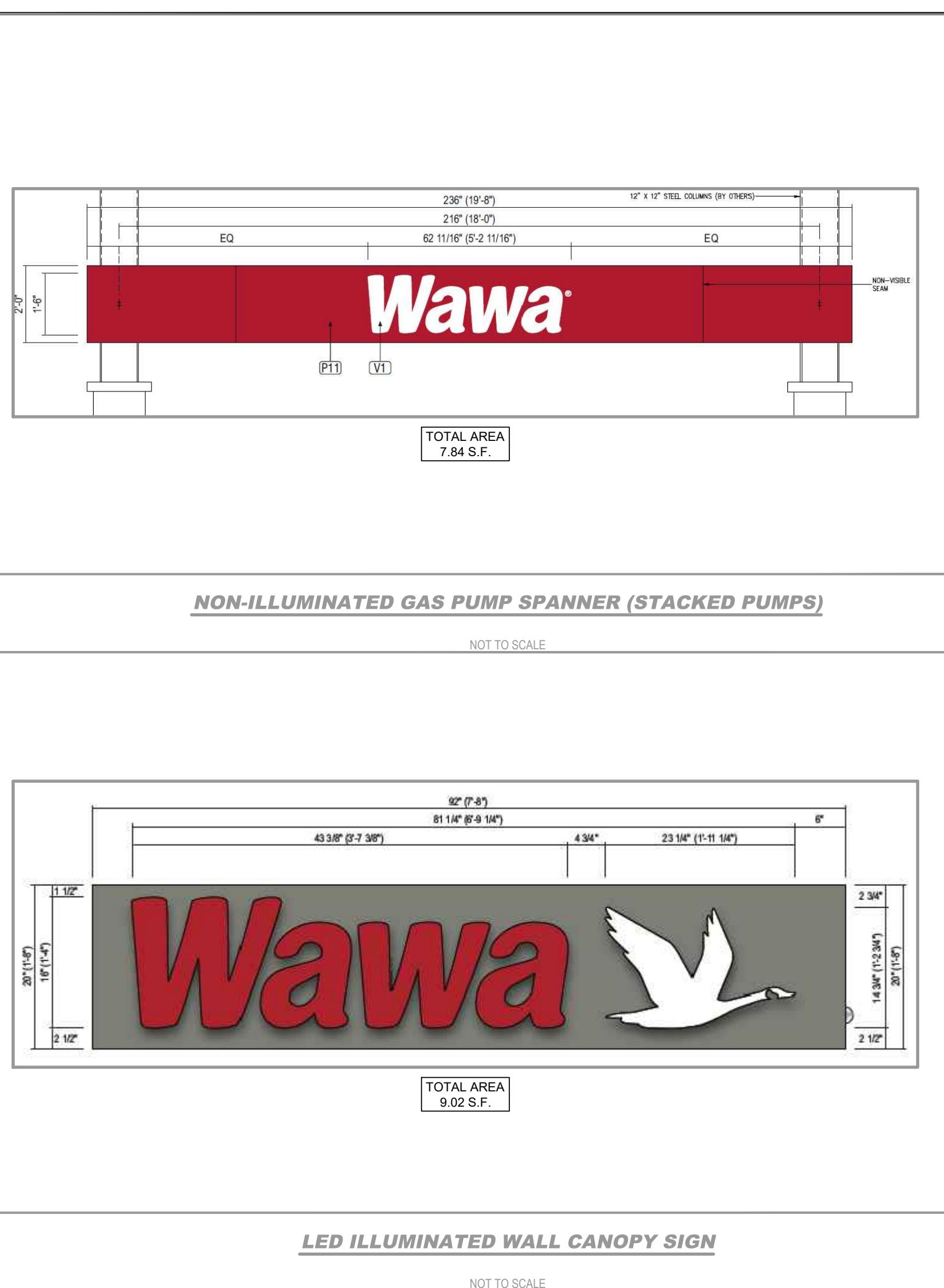
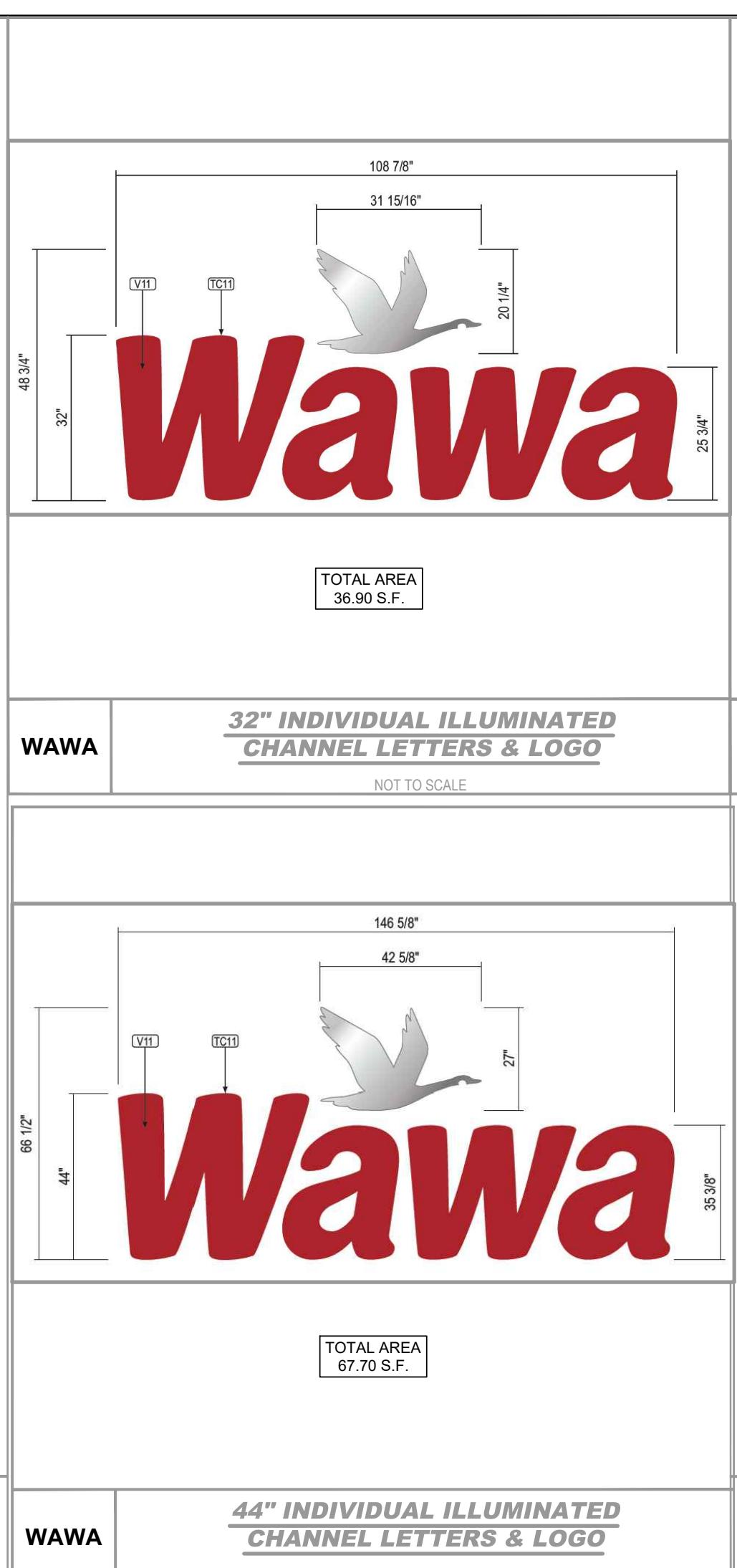
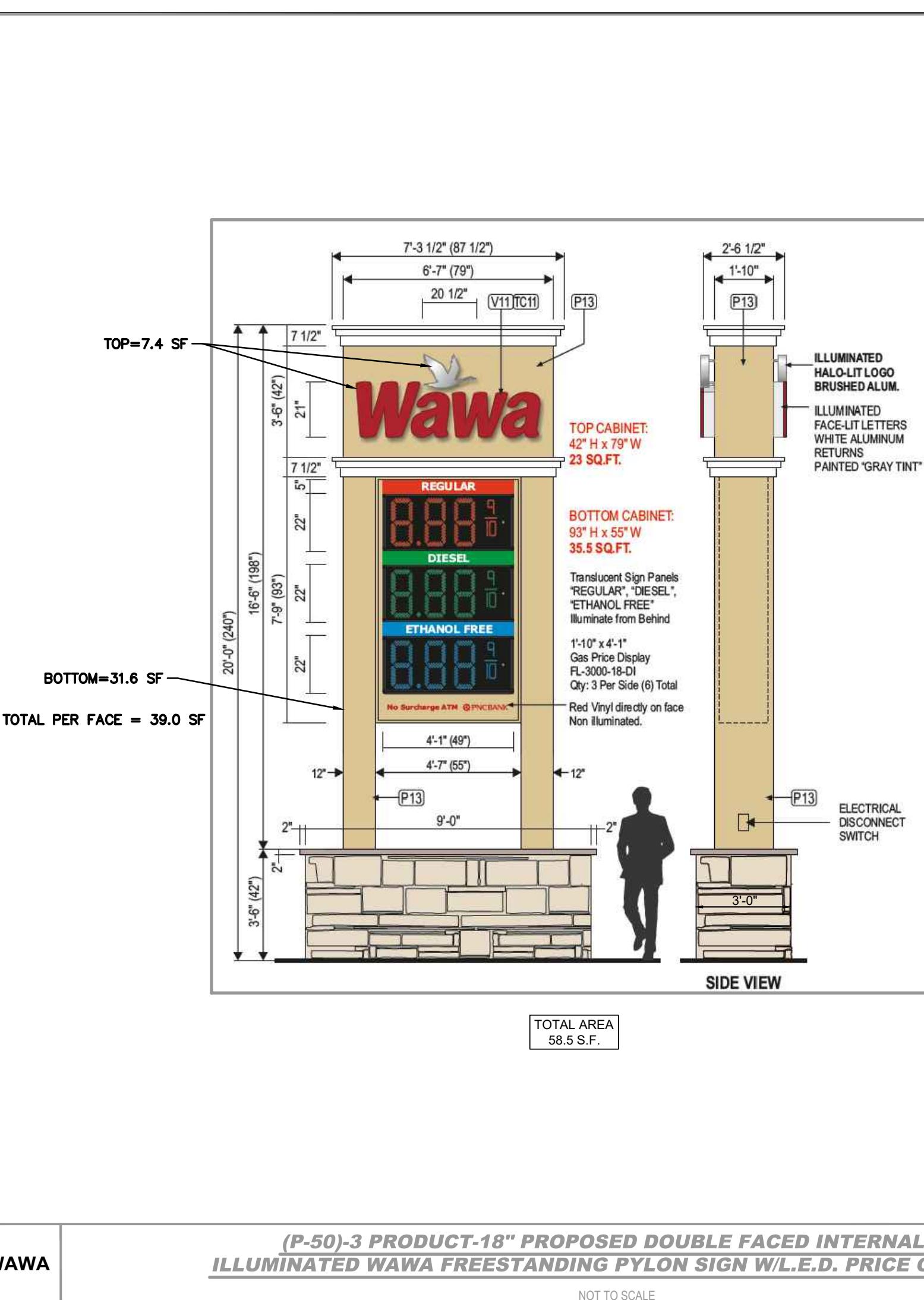


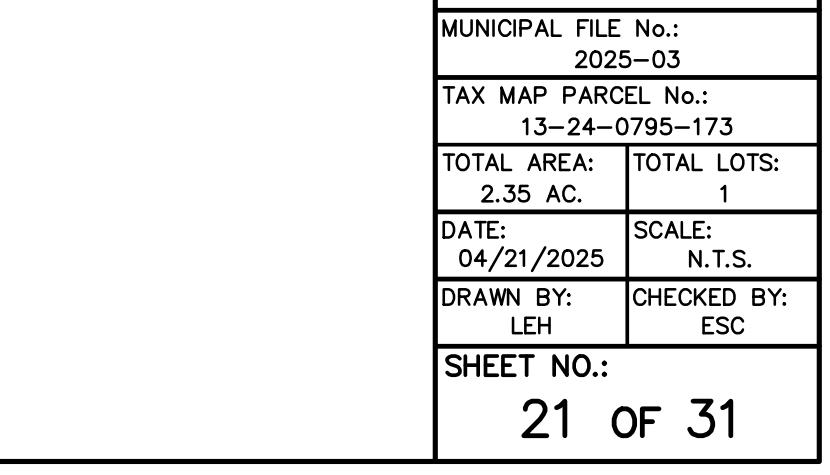
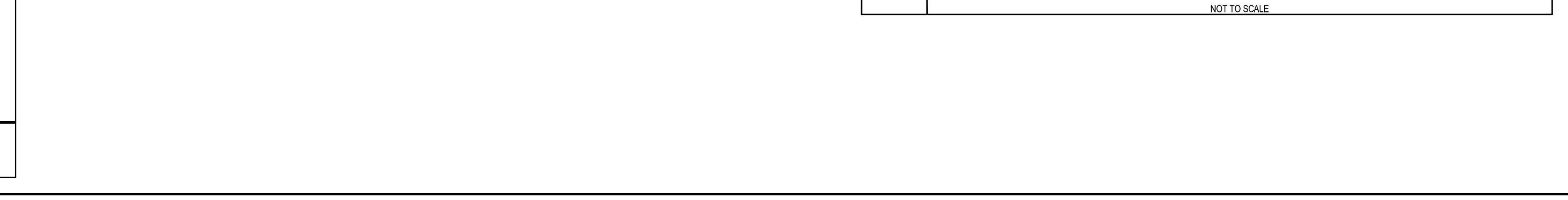
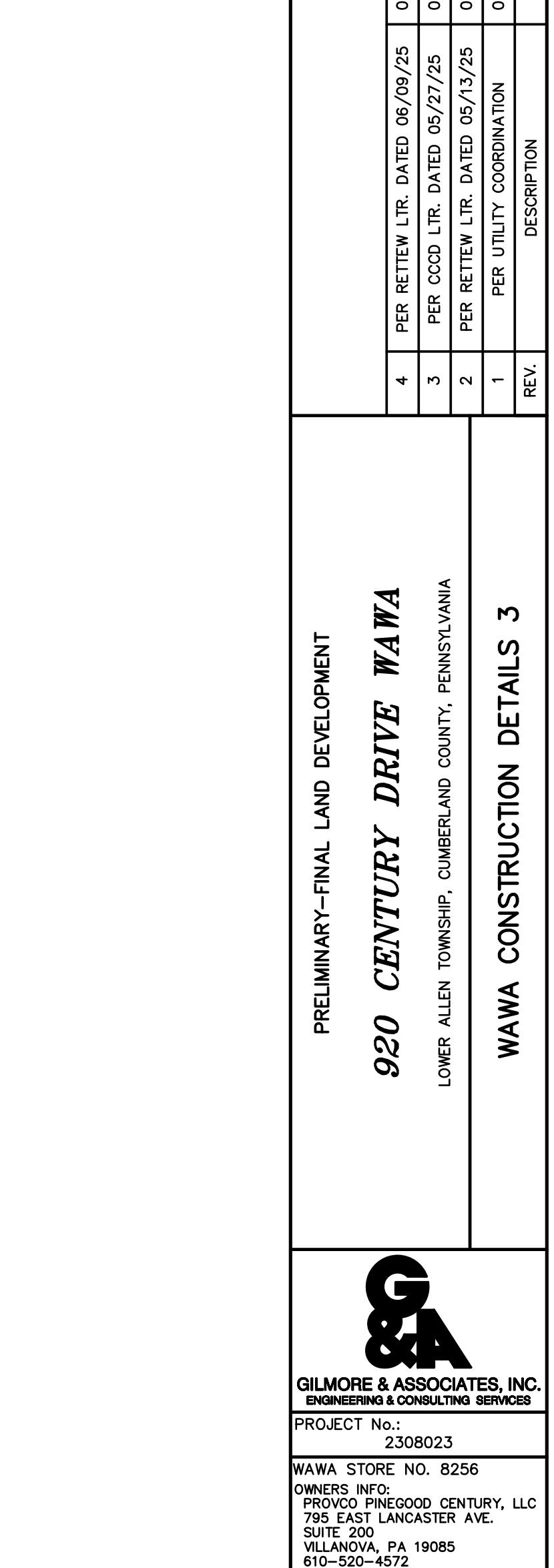
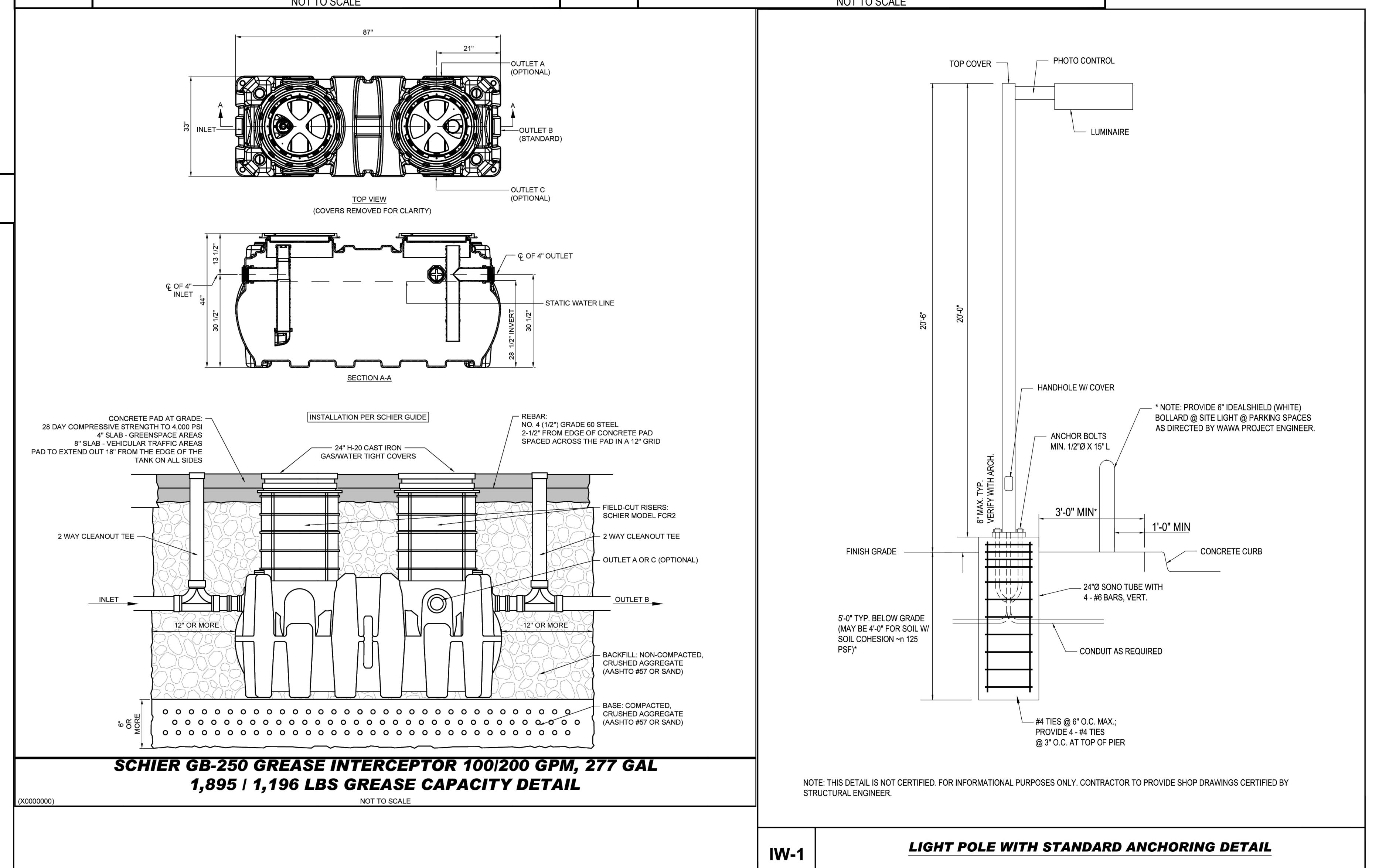
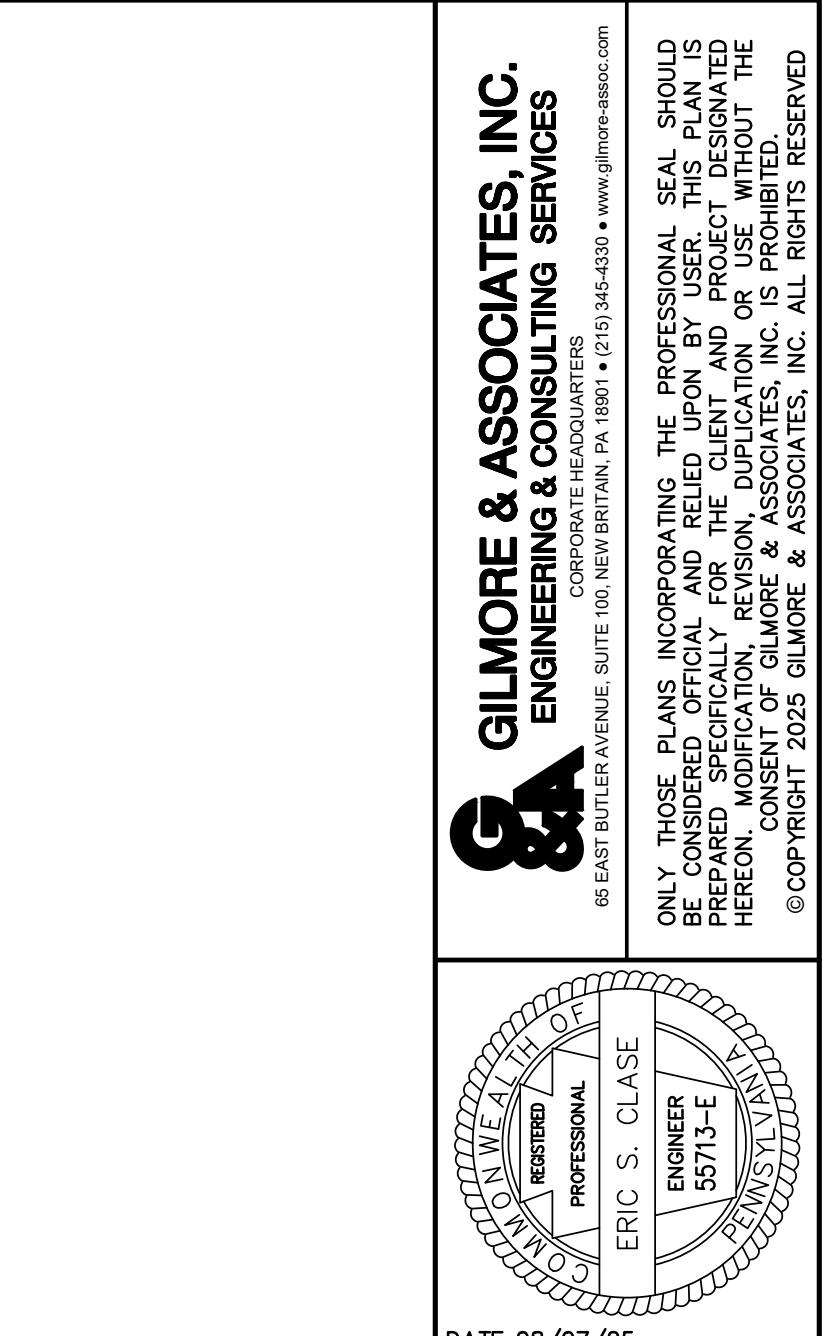
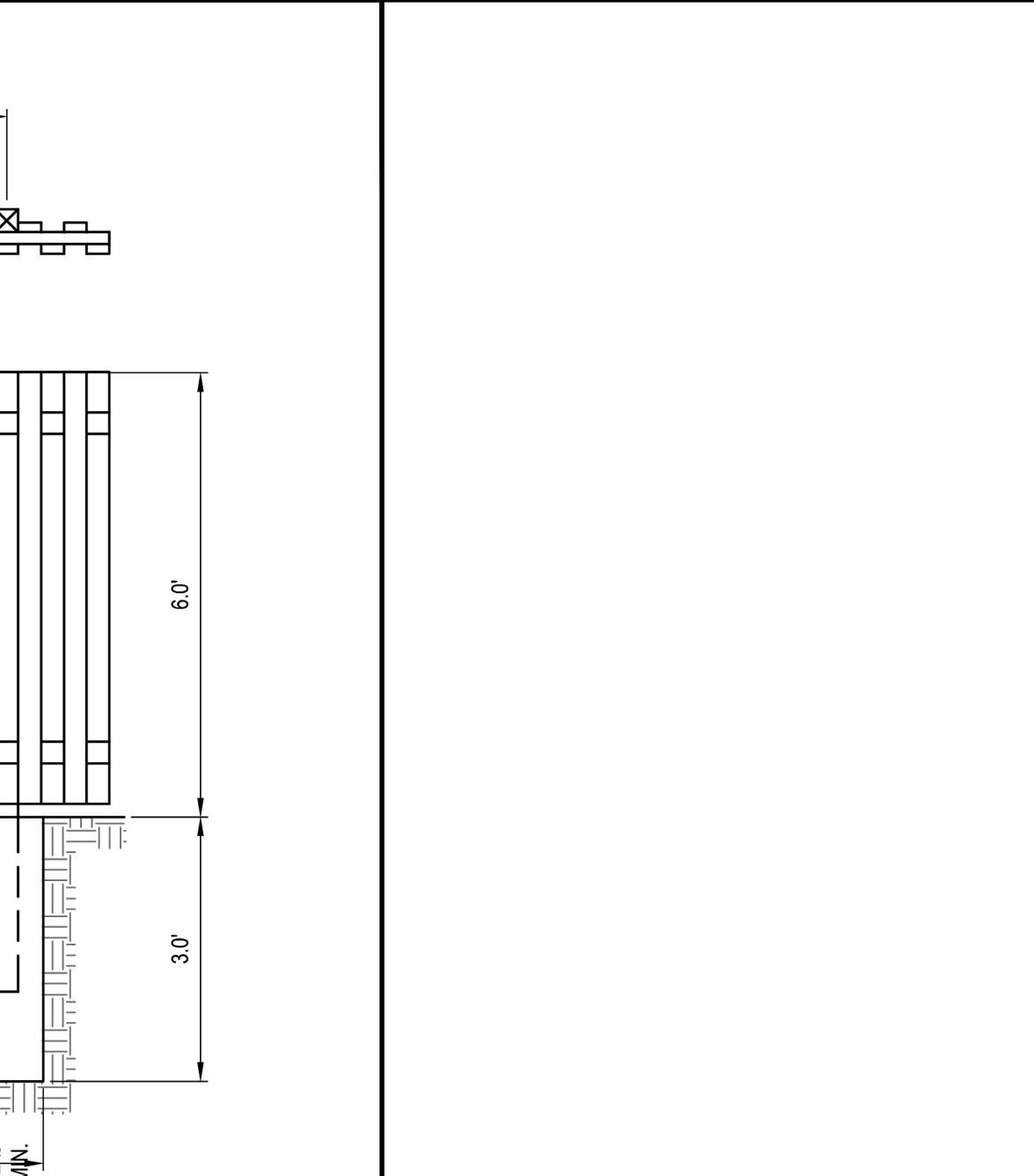
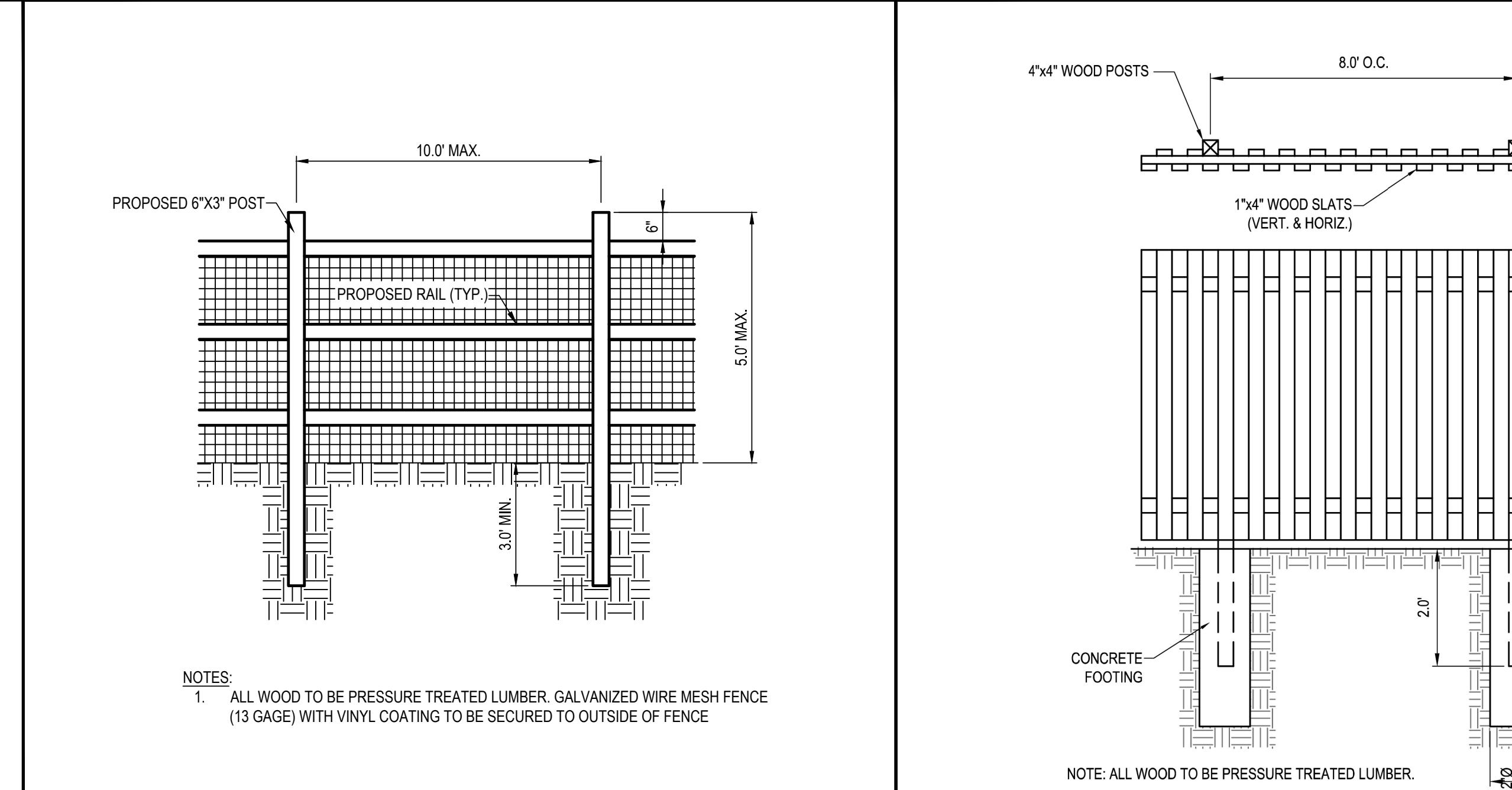
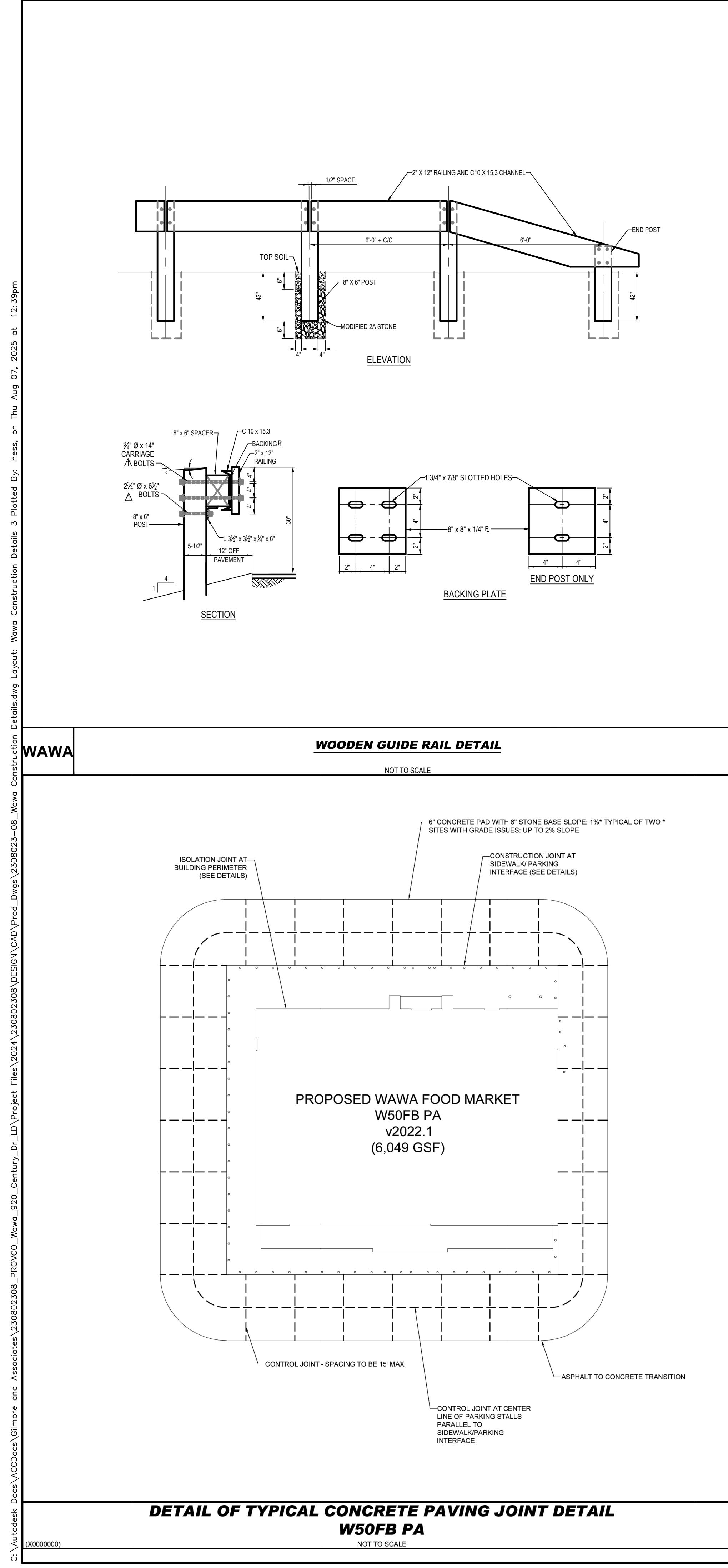
TYPICAL CROSS SECTION

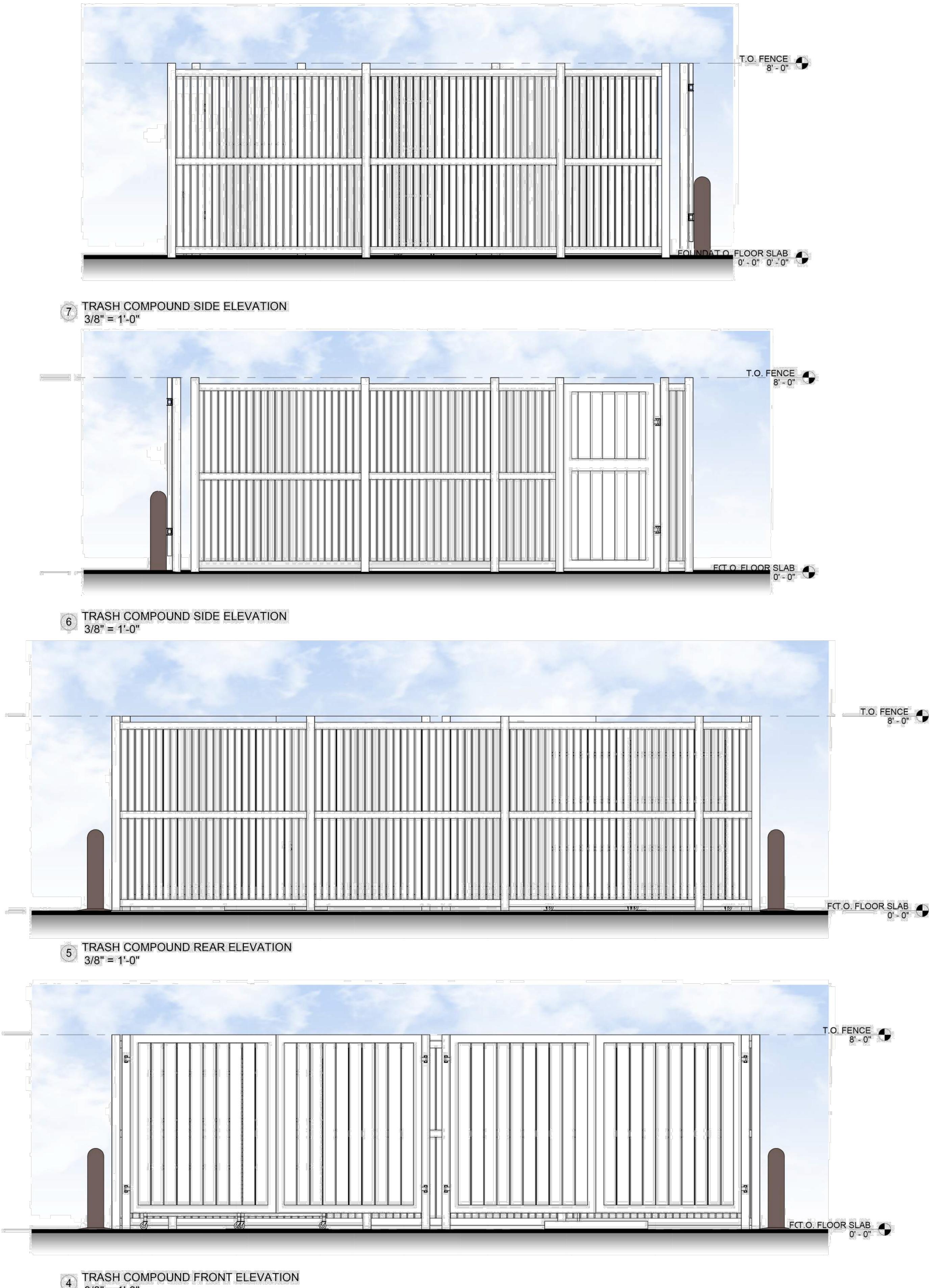
SCALE: N.T.S.

GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES 60 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, CT 06051 • (203) 341-4330 • www.gilmore-associates.com CORPORATE HEADQUARTERS 801 BROADWAY, SUITE 1000, NEW YORK, NY 10003 • (212) 341-4330 • www.gilmore-associates.com © 2024 GILMORE & ASSOCIATES, INC. ALL RIGHTS RESERVED																					
NOT APPROVED FOR CONSTRUCTION																					
DATE: 08/07/25																					
<table border="1"> <tr> <td>4</td><td>PER RETIEW LTR. DATED 06/09/25</td><td>06/07/25</td><td>LEH</td></tr> <tr> <td>3</td><td>PER CCC LTR. DATED 06/07/25</td><td>06/07/25</td><td>LEH</td></tr> <tr> <td>2</td><td>PER RETIEW LTR. DATED 05/13/25</td><td>05/23/25</td><td>LEH</td></tr> <tr> <td>1</td><td>PER UTILITY COORDINATION</td><td>05/07/25</td><td>JP</td></tr> <tr> <td>REV.</td><td>DESCRIPTION</td><td>DATE</td><td></td></tr> </table>		4	PER RETIEW LTR. DATED 06/09/25	06/07/25	LEH	3	PER CCC LTR. DATED 06/07/25	06/07/25	LEH	2	PER RETIEW LTR. DATED 05/13/25	05/23/25	LEH	1	PER UTILITY COORDINATION	05/07/25	JP	REV.	DESCRIPTION	DATE	
4	PER RETIEW LTR. DATED 06/09/25	06/07/25	LEH																		
3	PER CCC LTR. DATED 06/07/25	06/07/25	LEH																		
2	PER RETIEW LTR. DATED 05/13/25	05/23/25	LEH																		
1	PER UTILITY COORDINATION	05/07/25	JP																		
REV.	DESCRIPTION	DATE																			
PRELIMINARY-FINAL LAND DEVELOPMENT 920 CENTURY DRIVE WAWA LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA																					
CONSTRUCTION DETAILS																					
G & A GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES PROJECT NO.: 2308023 WAWA STORE NO. 8256 OWNERS INFO: PROVOCO PINEGOOD CENTURY, LLC 795 EAST LANCASTER AVE. SUITE 100 VILLANOVA, PA 19085 610-520-4572 MUNICIPAL FILE NO.: 2025-03 TAX MAP PARCEL NO.: 13-24-0795-173 TOTAL AREA: 2.35 AC. TOTAL LOTS: 1 DATE: 04/21/2025 SCALE: N.T.S. DRAWN BY: LEH CHECKED BY: ESC SHEET NO.: 18 OF 31																					

 <p>BITUMINOUS PAVING DETAIL NOT TO SCALE</p>	 <p>CONCRETE TO ASPHALT TRANSITION DETAIL NOT TO SCALE</p>	 <p>SIDWALK DETAIL NOT TO SCALE</p>	 <p>TANK MAT DETAIL NOT TO SCALE</p>
 <p>PARKING & CANOPY DETAIL NOT TO SCALE</p>	 <p>CONSTRUCTION JOINT DETAIL NOT TO SCALE</p>	 <p>CONTROL JOINT DETAIL NOT TO SCALE</p>	 <p>LOADING & TRASH MAT DETAIL (X0000000) NOT TO SCALE</p>
 <p>WAWA BOLLARD DETAIL NOT TO SCALE</p>	 <p>BOLLARD SPACING DETAIL NOT TO SCALE</p>	 <p>ADA PAINTED MARKINGS DETAIL (20240426) NOT TO SCALE</p>	 <p>WAWA SPECIFIC SIGN MOUNTING DETAIL NOT TO SCALE</p>
 <p>CURB RAMP DETAIL NOTES: 1) CURB RAMPS MAY NOT EXTEND INTO ANY PORTION OF THE PARKING SPACE OR ASSOCIATED STRIPED ISLAND. 2) CURB RAMPS, PAVEMENT MARKINGS, & APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.D.A. ACCESSIBILITY GUIDELINES. 3) A LEVEL LANDING AREA 5.0' (60 INCHES) IN LENGTH SHALL BE PROVIDED BEHIND THE RAMP OR FLARES.</p>	 <p>NO VAN OR TRUCK PARKING NOT TO SCALE</p>	 <p>PARKING SPACE LETTERING DETAIL NOT TO SCALE</p>	 <p>920 CENTURY DRIVE WAWA NOT TO SCALE</p>
 <p>ADA FLARE CURB RAMP DETAIL NOT TO SCALE</p>	 <p>LOADING ZONE STRIPING DETAIL NOT TO SCALE</p>	 <p>WAWA CONSTRUCTION DETAILS 1 NOT TO SCALE</p>	 <p>GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES CORPORATE HEADQUARTERS 60 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, CT 06051 • (203) 345-4330 • www.gilmores-associates.com © 2025 Gilmore & Associates, Inc. All Rights Reserved</p>

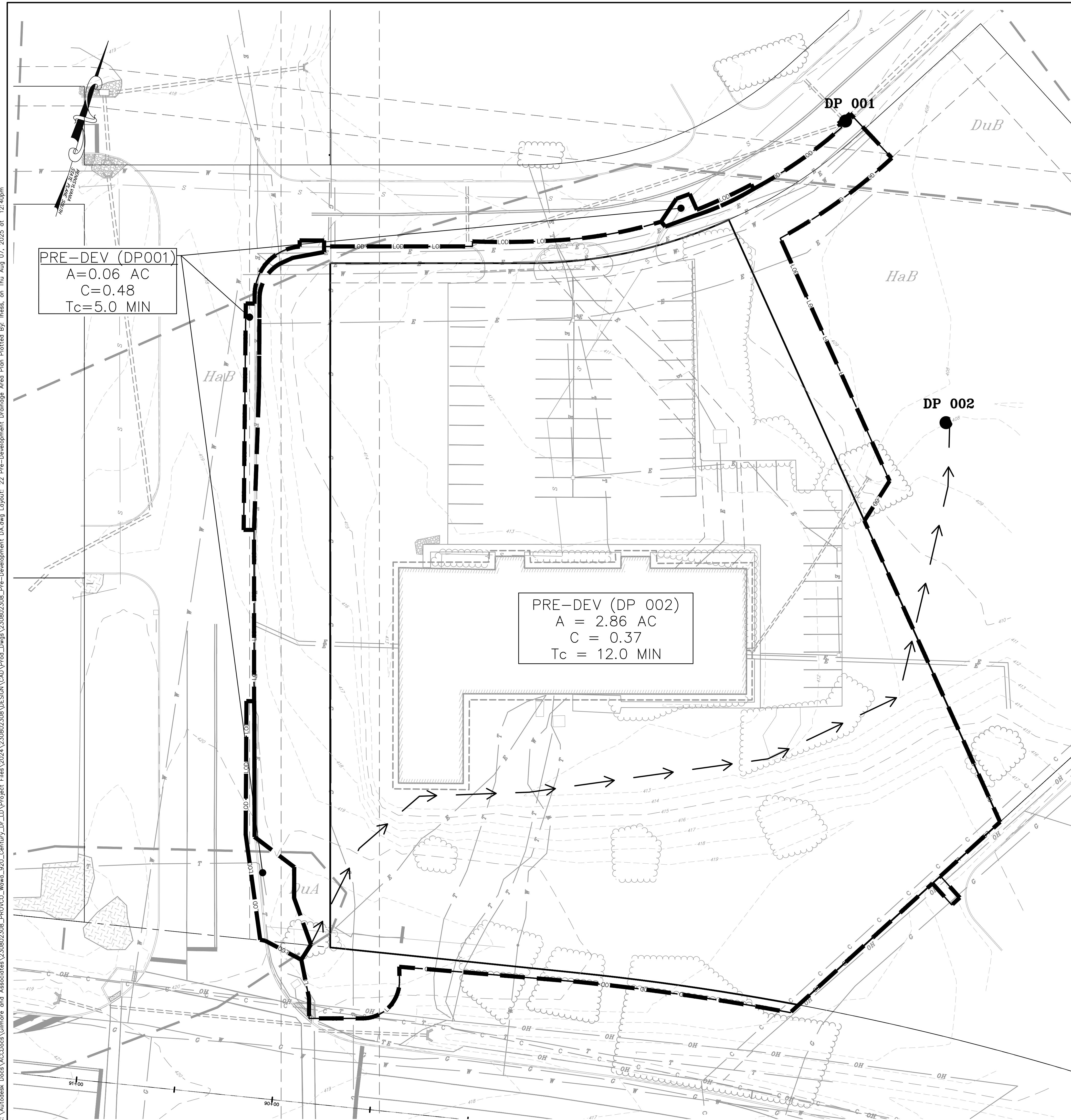






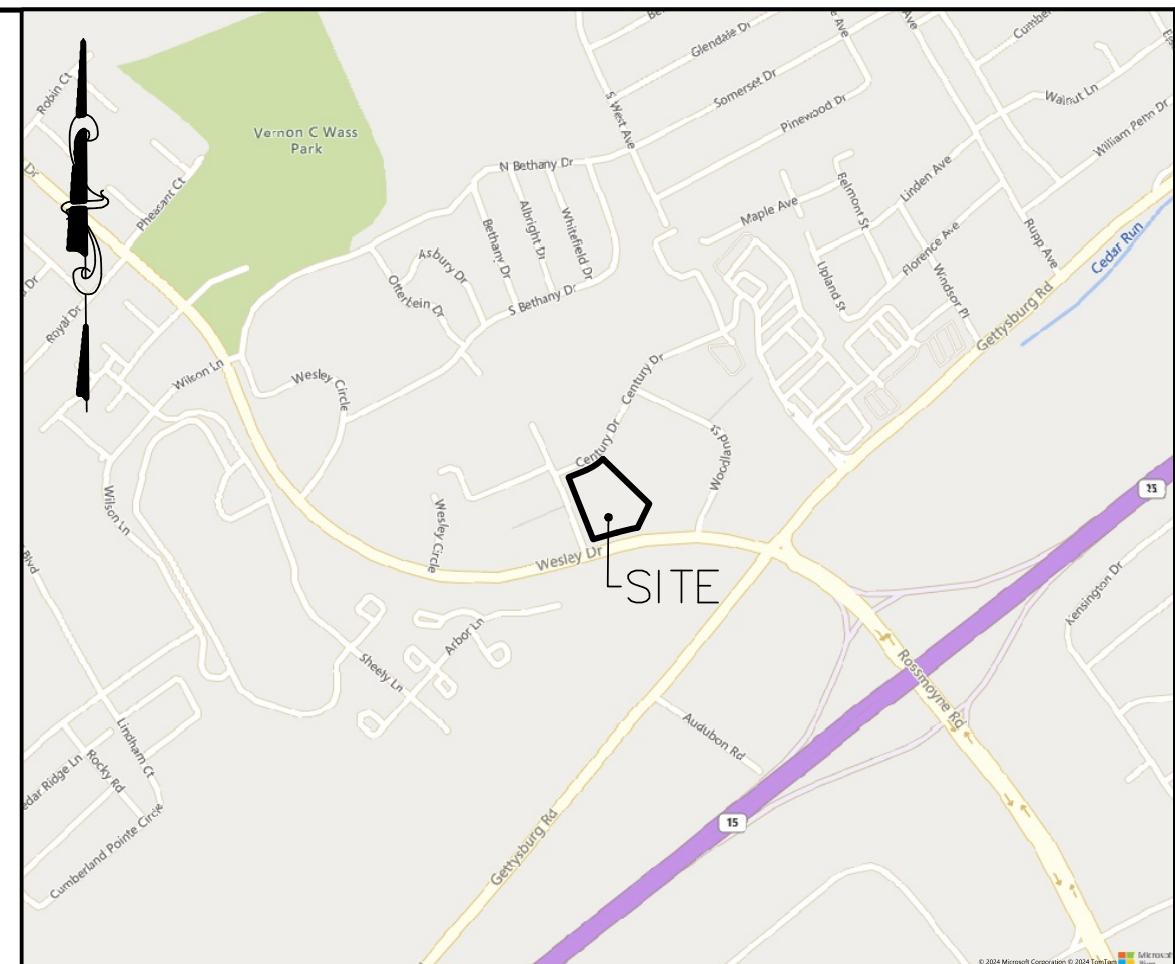
TRASH ENCLOSURE DETAILS

 <p>GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES</p> <p>Corporate Headquarters 60 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901 • (215) 344-5330 • www.gilmore-associates.com</p>		<p>ONLY THOSE PLANS INCORPORATING THE PROFESSIONAL SEAL SHOULD BE CONSIDERED OFFICIAL AND RELIED UPON BY USER. THIS PLAN IS PREPARED SPECIFICALLY FOR THE DESIGN AND PROTECTION OF THE PROPERTY OWNED BY THE OWNER ON THE DATE OF THIS DRAWING. ANY USE OF THIS DRAWING WITHOUT THE CONSENT OF GILMORE & ASSOCIATES, INC. IS PROHIBITED.</p> <p>© COPYRIGHT 2025 GILMORE & ASSOCIATES, INC. ALL RIGHTS RESERVED</p>	
		<p>NOT APPROVED FOR CONSTRUCTION</p>	
<p>920 CENTURY DRIVE WAWA</p>		<p>DATE: 08/07/25</p>	
<p>PRELIMINARY-FINAL LAND DEVELOPMENT</p>		<p>4 PER RETIEW LTR. DATED 06/09/25 06/07/25 LEH 3 PER CCCD LTR. DATED 06/07/25 06/20/25 LEH 2 PER RETIEW LTR. DATED 05/13/25 05/23/25 LEH 1 PER UTILITY COORDINATION 05/07/25 JP</p>	
<p>WAWA CONSTRUCTION DETAILS 4</p>		<p>REV. DESCRIPTION DATE BY</p>	
<p>GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES</p>		<p>PROJECT No.: 2308023 WAWA STORE No. 8256 OWNERS INFO: PROVCO PINEGOOD CENTURY, LLC 795 EAST LANCASTER AVE. SUITE 100 VILLANOVA, PA 19085 610-520-4572 MUNICIPAL FILE No.: 2025-03 TAX MAP PARCEL No.: 13-24-0795-173 TOTAL AREA: 2.35 AC. TOTAL LOTS: 1 DATE: 04/21/2025 SCALE: N.T.S. DRAWN BY: LEH CHECKED BY: ESC SHEET NO.: 22 OF 31</p>	



SOILS LEGEND AND TABLE OF LIMITATIONS & RESOLUTIONS BASED ON USDA-NRCS WEB SOIL SURVEY OF CUMBERLAND COUNTY									
SYMBOL	MAPPING UNITS	SLOPE	LAND CAPABILITY	HYDROIC SOIL	HYDRO. GROUP	DEPTH TO BEDROCK	WATER TABLE	LIMITATIONS FOR CONSTRUCTION	RESOLUTION OF LIMITATIONS
Dua	DUFFIELD SILT LOAM	0-3%	1	YES	B	60-80"	> 5'	NOT LIMITED	
Dub	DUFFIELD SILT LOAM	3-8%	2e	YES	B	60-80"	> 5'	NOT LIMITED	
HaB	HAGERSTOWN SILT LOAM	3-8%	2e	YES	B	43-98"	> 5'	SOMEWHAT LIMITED: SEEPAGE POTENTIAL	COMPACT AS PER PLAN SPECIFICATION

*SEE E&S NOTES SHEET 2 FOR SOILS LIMITATIONS AND RESOLUTION TABLES



LOCATION MAP
SCALE: 1"=1000'
SCALE: 00 1000 2000 FEET

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
CORPORATE HEADQUARTERS
60 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901 • (215) 345-4330 • www.gilmore-associates.com
ONLY THOSE PLANS INCORPORATING THE PROFESSIONAL SEAL SHOULD
BE CONSIDERED OFFICIALLY DRAWN AND RELIED UPON BY USER. THIS PLAN IS
PREPARED OFFICIALLY FOR THE BENEFIT AND PROTECTION OF THE OWNER
AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE USE OF THIS PLAN WITHOUT THE
CONSENT OF GILMORE & ASSOCIATES, INC. IS PROHIBITED.
© COPYRIGHT 2025 GILMORE & ASSOCIATES, INC. ALL RIGHTS RESERVED

REGISTERED	PROFESSIONAL	ERIC S. CLASE
DATE: 08/07/25	PER CCCO LTR. DATED 06/09/25	06/07/25 LEH
	PER RETIEW LTR. DATED 06/07/25	06/20/25 LEH
	PER RETIEW LTR. DATED 05/13/25	05/23/25 LEH
	PER UTILITY COORDINATION	05/07/25 JP
REV.	DESCRIPTION	DATE BY

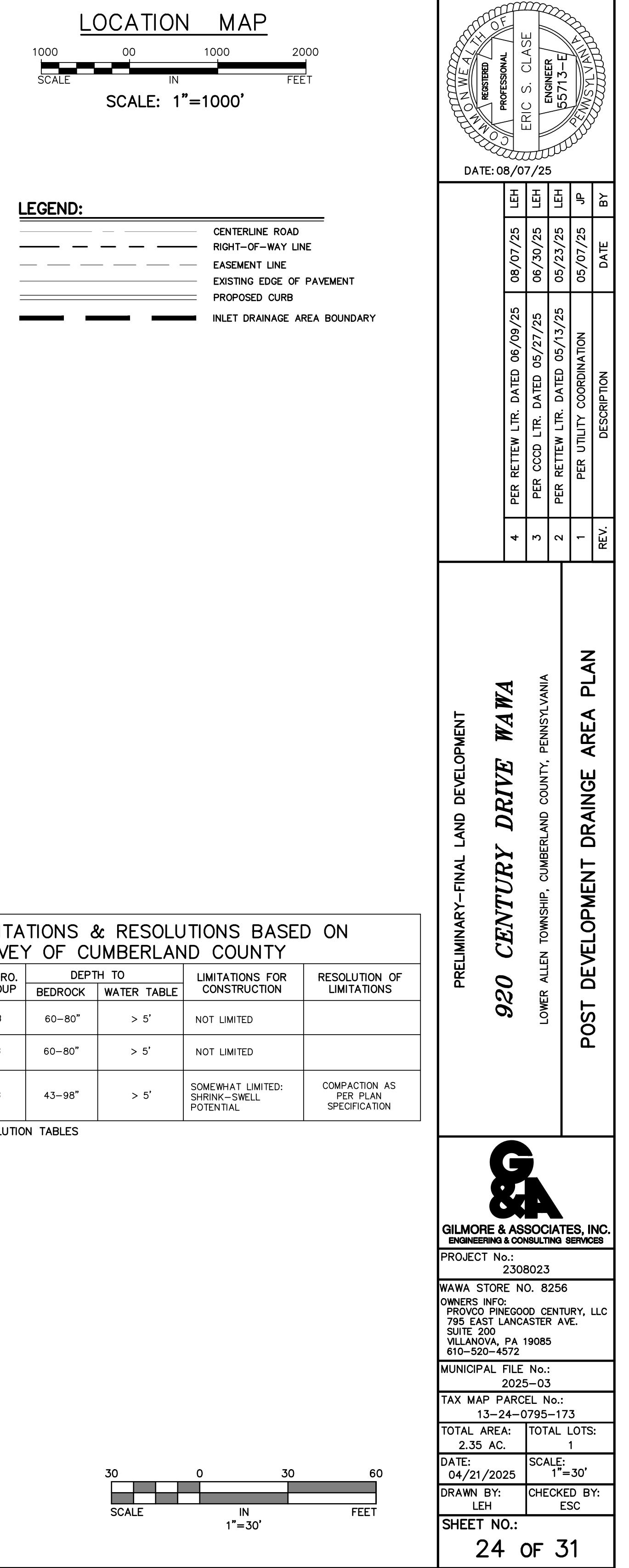
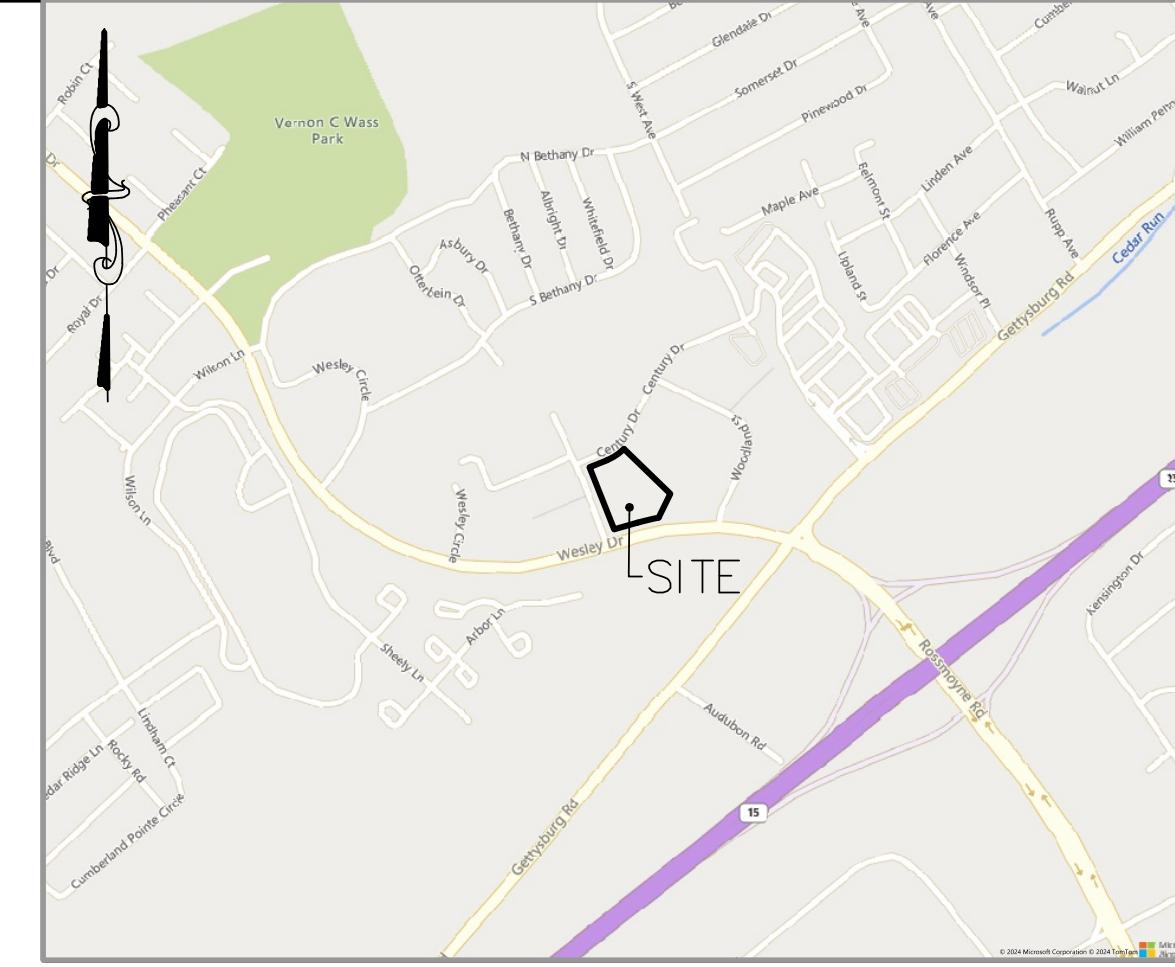
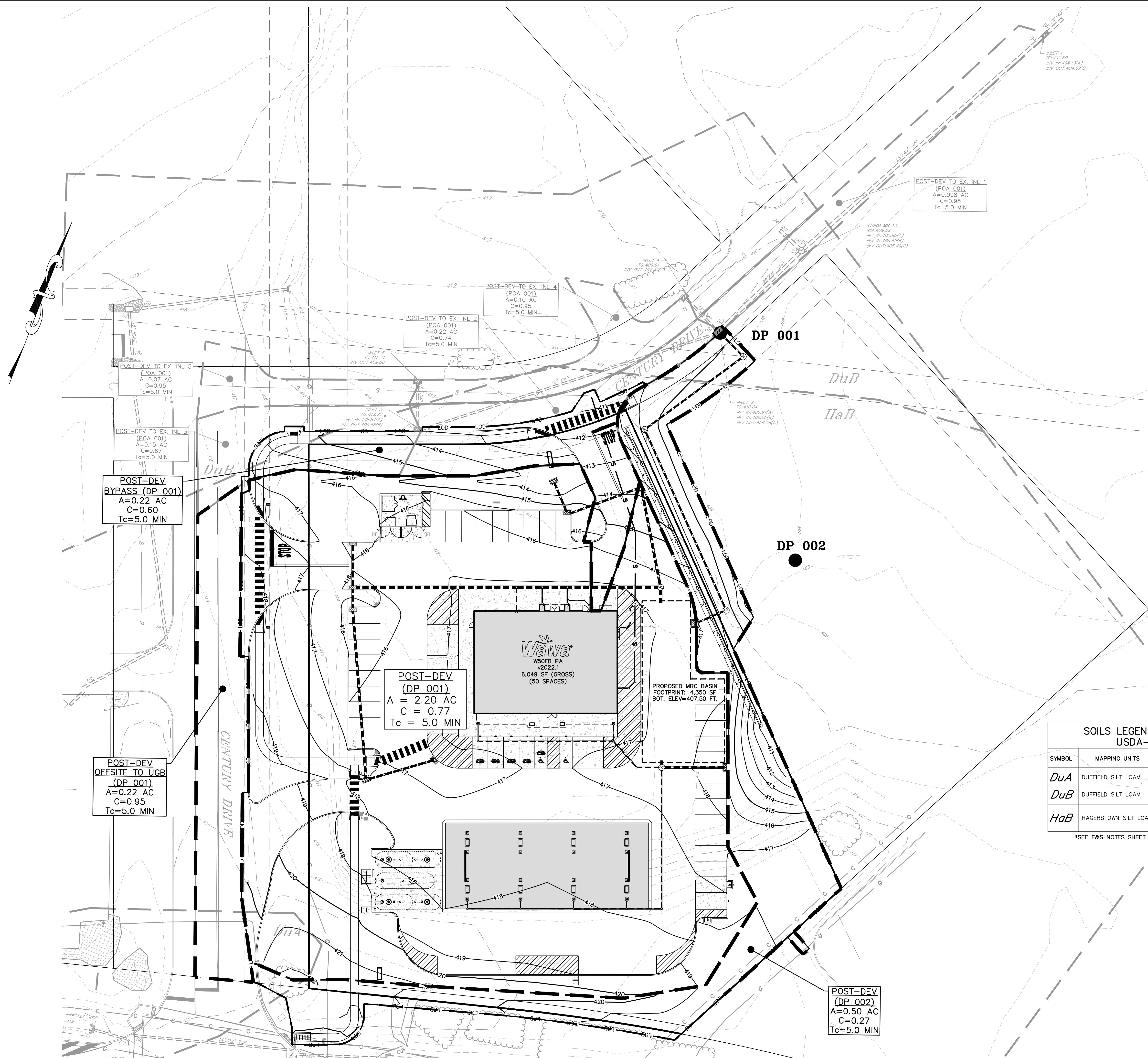
920 CENTURY DRIVE WAWA
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

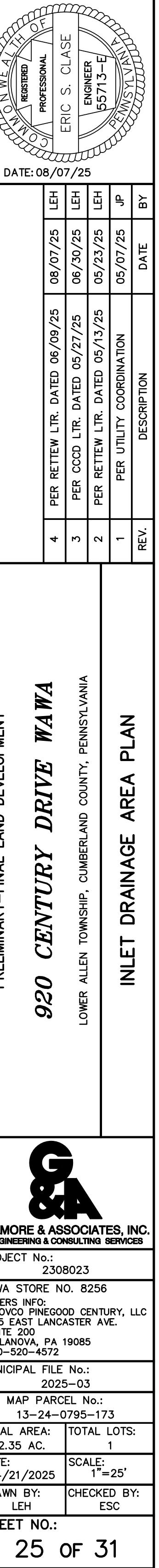
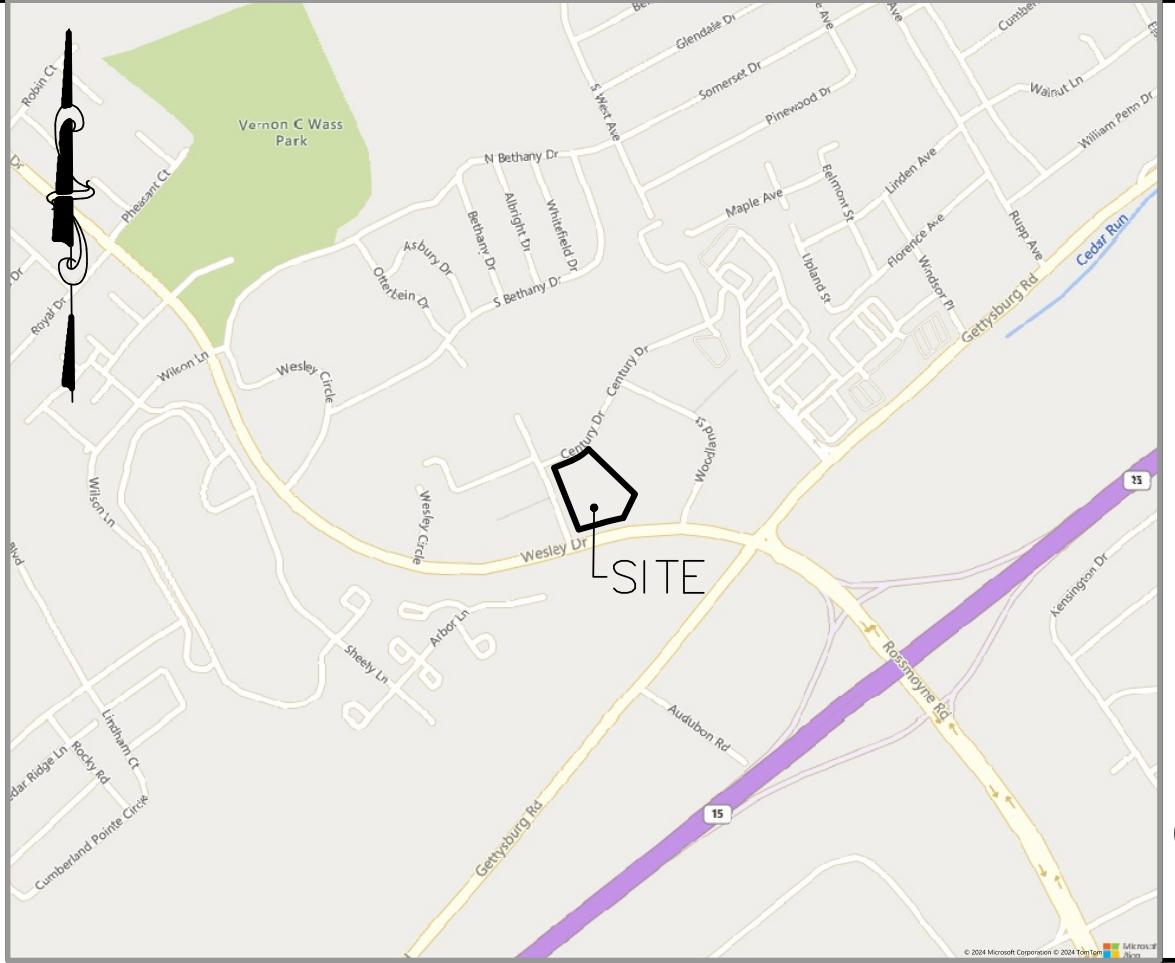
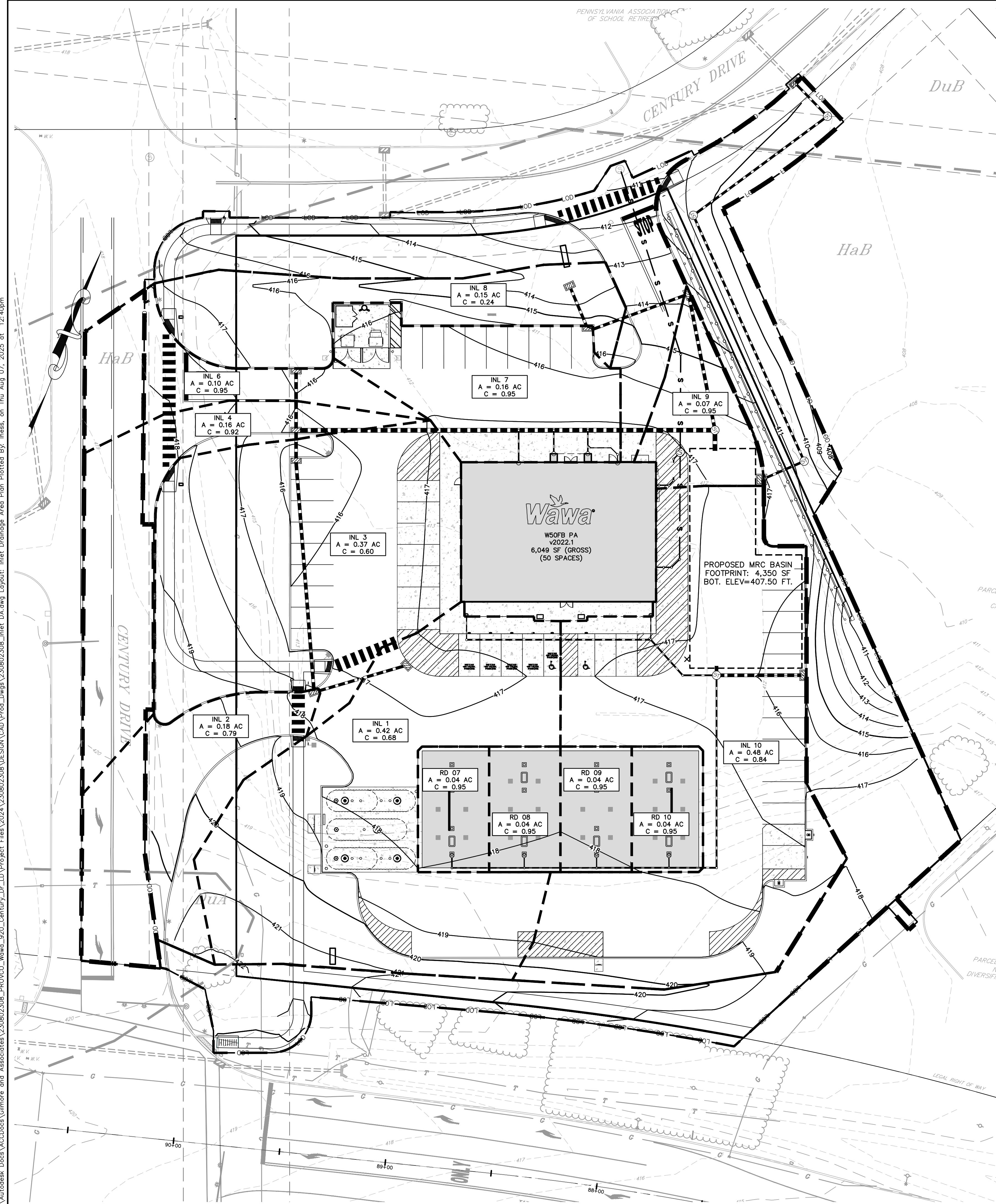
PRELIMINARY-FINAL LAND DEVELOPMENT	
920 CENTURY DRIVE WAWA	
4	PER RETIEW LTR. DATED 06/09/25
3	PER CCCO LTR. DATED 06/07/25
2	PER RETIEW LTR. DATED 05/13/25
1	PER UTILITY COORDINATION
REV.	DESCRIPTION

GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES
PROJECT No.: 2308023
WAWA STORE No. 8256
OWNERS INFO: PROVCO PINEGOOD CENTURY, LLC
795 EAST LANCASTER AVE.
SUITE 100
VILLANOVA, PA 19085
610-520-4572
MUNICIPAL FILE No.: 2025-03
TAX MAP PARCEL No.: 13-24-0795-173
TOTAL AREA: 2.35 AC.
TOTAL LOTS: 1
DATE: 04/21/2025 SCALE: 1"=25'
DRAWN BY: LEH CHECKED BY: ESC
SHEET NO.: 23 OF 28



SCALE 1"=25' FEET

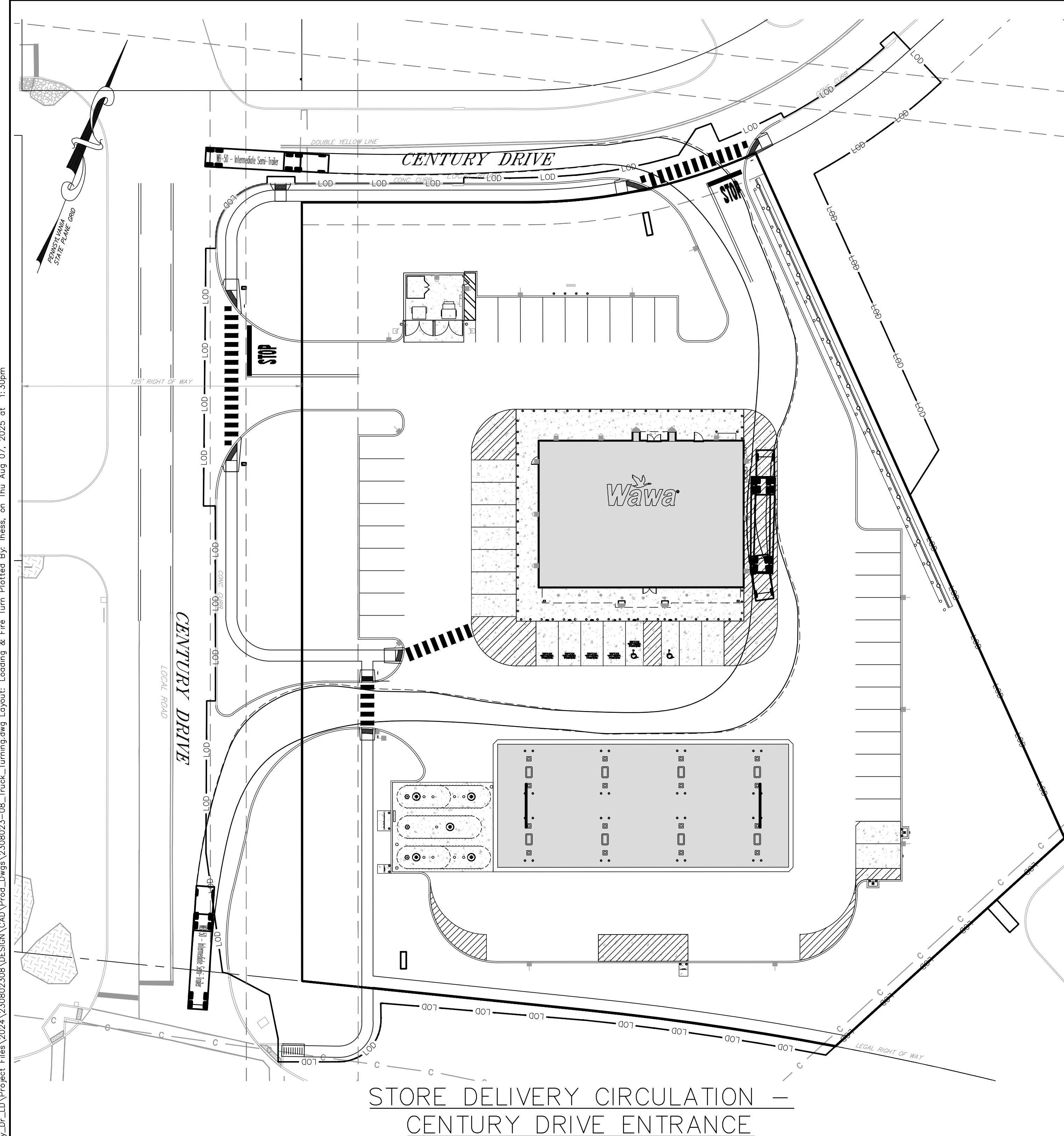




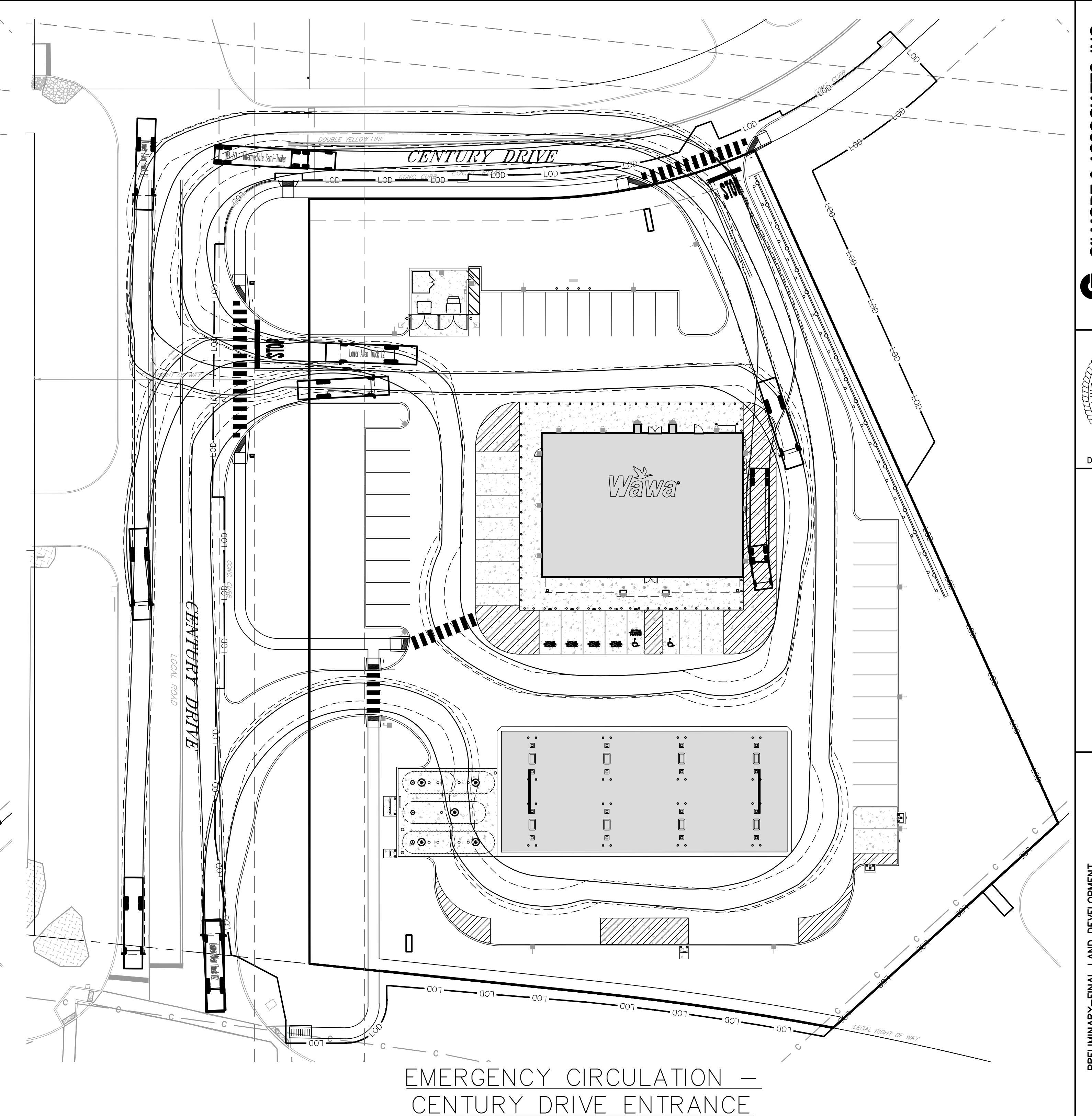
SOILS LEGEND AND TABLE OF LIMITATIONS & RESOLUTIONS BASED ON USDA-NRCS WEB SOIL SURVEY OF CUMBERLAND COUNTY

SYMBOL	MAPPING UNITS	SLOPE	LAND CAPBLTY	HYDRIC SOIL	HYDRO. GROUP	DEPTH TO		LIMITATIONS FOR CONSTRUCTION	RESOLUTION OF LIMITATIONS
						BEDROCK	WATER TABLE		
<i>DuA</i>	DUFFIELD SILT LOAM	0-3%	1	YES	B	60-80"	> 5'	NOT LIMITED	
<i>DuB</i>	DUFFIELD SILT LOAM	3-8%	2e	YES	B	60-80"	> 5'	NOT LIMITED	
<i>HaB</i>	HAGERSTOWN SILT LOAM	3-8%	2e	YES	B	43-98"	> 5'	SOMEWHAT LIMITED: SHRINK-SWELL POTENTIAL	COMPACTION AS PER PLAN SPECIFICATION

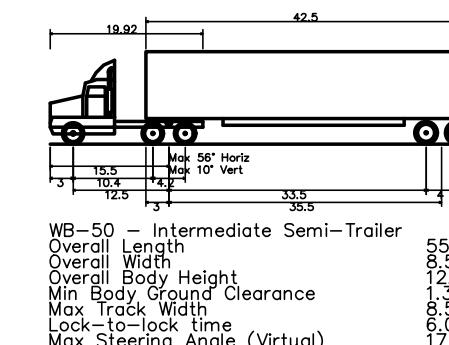
*SEE E&S NOTES SHEET 2 FOR SOILS LIMITATIONS AND RESOLUTION TABLES



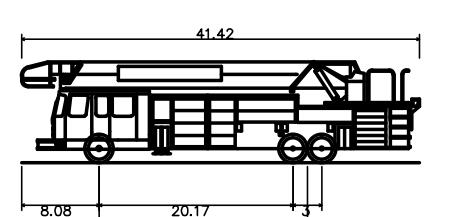
STORE DELIVERY CIRCULATION —
CENTURY DRIVE ENTRANCE



EMERGENCY CIRCULATION – CENTURY DRIVE ENTRANCE



WB-50 - Intermediate Semi-Trailer
 Overall Length
 Overall Width
 Overall Body Height
 Min Body Ground Clearance
 Max Track Width
 Lock-to-lock time
 Mnx Steering Angle (Virtual)

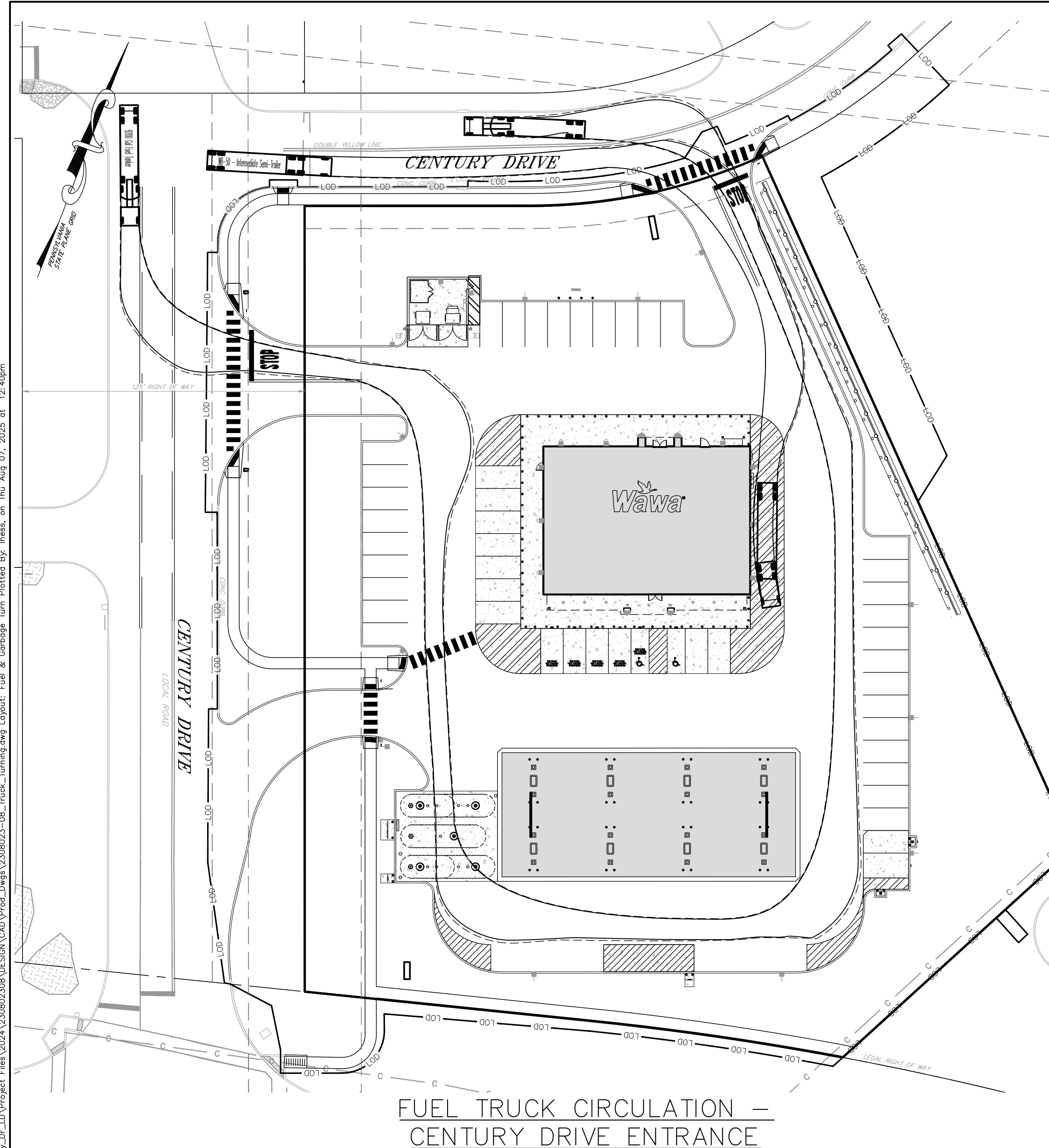


Lower Allen Truck 12	
Overall Length	41.420ft
Overall Width	8.390ft
Overall Body Height	10.500ft
Min Body Ground Clearance	0.930ft
Track Width	8.390ft
Lock-to-lock time	4.00s

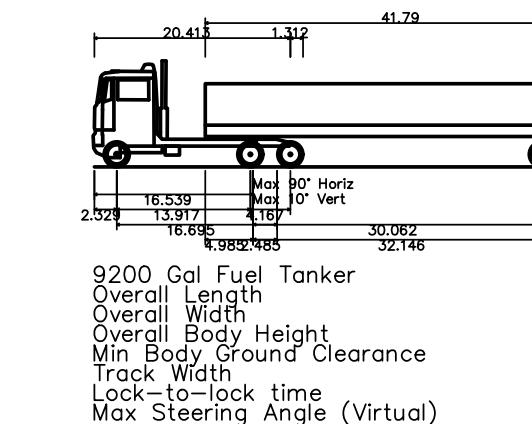
C:\Autodesk Docs\ACCDocs\Gilmore and Associates\Z30802308_PROVCO_Wawa_920_Century_bldg.dwg

PRELIMINARY-FINAL LAND DEVELOPMENT 920 CENTURY DRIVE WAWA		LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA																					
LOADING & FIRE TURN		65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901 • (215) 345-4330 • www.gilmore-assoc.co																					
		DATE: APRIL 21, 2025																					
GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES		CORPORATE HEADQUARTERS																					
84		65 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901 • (215) 345-4330 • www.gilmore-assoc.co																					
<table border="1"> <tr> <td>4</td> <td>PER RETTEW LTR. DATED 06/09/25</td> <td>08/07/25</td> <td>LEH</td> </tr> <tr> <td>3</td> <td>PER CCCD LTR. DATED 05/27/25</td> <td>06/30/25</td> <td>LEH</td> </tr> <tr> <td>2</td> <td>PER RETTEW LTR. DATED 05/13/25</td> <td>05/23/25</td> <td>LEH</td> </tr> <tr> <td>1</td> <td>PER UTILITY COORDINATION</td> <td>05/07/25</td> <td>JP</td> </tr> <tr> <td>REV.</td> <td>DESCRIPTION</td> <td>DATE</td> <td>BY</td> </tr> </table>				4	PER RETTEW LTR. DATED 06/09/25	08/07/25	LEH	3	PER CCCD LTR. DATED 05/27/25	06/30/25	LEH	2	PER RETTEW LTR. DATED 05/13/25	05/23/25	LEH	1	PER UTILITY COORDINATION	05/07/25	JP	REV.	DESCRIPTION	DATE	BY
4	PER RETTEW LTR. DATED 06/09/25	08/07/25	LEH																				
3	PER CCCD LTR. DATED 05/27/25	06/30/25	LEH																				
2	PER RETTEW LTR. DATED 05/13/25	05/23/25	LEH																				
1	PER UTILITY COORDINATION	05/07/25	JP																				
REV.	DESCRIPTION	DATE	BY																				
<p>ONLY THOSE PLANS INCORPORATING THE PROFESSIONAL SEAL SHOULD BE CONSIDERED OFFICIAL AND RELIED UPON BY USER. THIS PLAN IS PREPARED SPECIFICALLY FOR THE CLIENT AND PROJECT DESIGNATED HEREON. MODIFICATION, REVISION, DUPLICATION, OR USE WITHOUT THE CONSENT OF GILMORE & ASSOCIATES, INC. IS PROHIBITED.</p> <p>© COPYRIGHT 2024 GILMORE & ASSOCIATES, INC. ALL RIGHTS RESERVED</p>																							

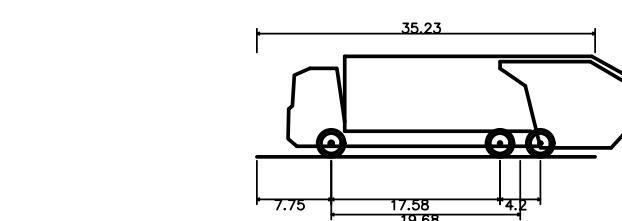
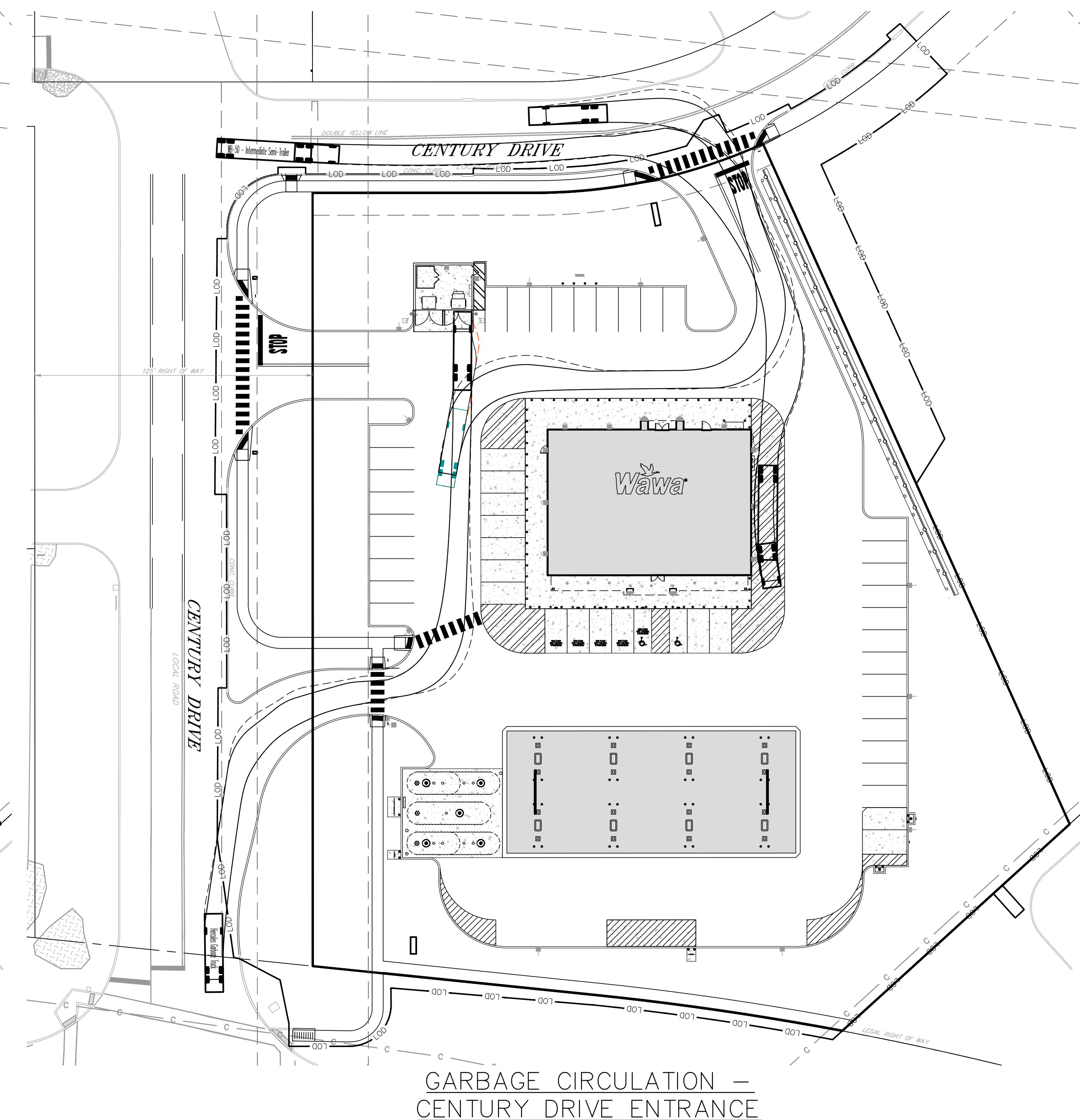
 GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES	
PROJECT No.: 2408023	
WAWA STORE NO. 8256	
OWNERS INFO: PROVCO PINEGOOD CENTURY, LLC 795 EAST LANCASTER AVE. SUITE 200 VILLANOVA, PA 19085 610-520-4572	
MUNICIPAL FILE No.: ----	
TAX MAP PARCEL No.: 13-24-0795-173	
TOTAL AREA: 2.35 AC.	TOTAL LOTS: 1
DATE: 04/21/2025	SCALE: 1"=30'
DRAWN BY: LEH	CHECKED BY: ESC
SHEET NO.:	
26 OF 31	



FUEL TRUCK CIRCULATION –
CENTURY DRIVE ENTRANCE



9200 Gal Fuel Tanker
Overall Length 41.79 ft
Overall Width 8.43 ft
Overall Body Height 11.05 ft
Min. Body Ground Clearance 0.967 ft
Track Width 7.70 ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 30.00°



Hercules Garbage Truck
Overall Length 35.73 ft
Overall Width 8.43 ft
Overall Body Height 10.481 ft
Min. Body Ground Clearance 0.93 ft
Track Width 7.75 ft
Lock-to-lock time 6.00s
Max. Wheel Angle 33.90°

GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES <small>CORPORATE HEADQUARTERS 60 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18950 • (215) 341-4330 • www.gilmore-associates.com</small>																					
<small>ONLY THOSE PLANS INCORPORATING THE PROFESSIONAL SEAL SHOULD BE CONSIDERED OFFICIAL AND RELIED UPON BY THE USER. THIS PLAN IS PREPARED SPECIFICALLY FOR THE USE OF THE DESIGNER AND PROJECT TEAM HEREIN. ANY USE OF THIS PLAN BY ANOTHER PERSON OR ENTITY WITHOUT THE CONSENT OF GILMORE & ASSOCIATES, INC. IS PROHIBITED.</small>																					
<small>© COPYRIGHT 2024 GILMORE & ASSOCIATES, INC. ALL RIGHTS RESERVED</small>																					
NOT APPROVED FOR CONSTRUCTION																					
<small>DATE: APRIL 21, 2025</small>																					
<table border="1"> <tr> <td>4</td> <td>PER RETIEW LTR. DATED 06/09/25</td> <td>06/07/25</td> <td>LEH</td> </tr> <tr> <td>3</td> <td>PER CCCD LTR. DATED 06/07/25</td> <td>06/07/25</td> <td>LEH</td> </tr> <tr> <td>2</td> <td>PER RETIEW LTR. DATED 05/13/25</td> <td>05/23/25</td> <td>LEH</td> </tr> <tr> <td>1</td> <td>PER UTILITY COORDINATION</td> <td>05/07/25</td> <td>JF</td> </tr> <tr> <td>REV.</td> <td>DESCRIPTION</td> <td>DATE</td> <td>BY</td> </tr> </table>		4	PER RETIEW LTR. DATED 06/09/25	06/07/25	LEH	3	PER CCCD LTR. DATED 06/07/25	06/07/25	LEH	2	PER RETIEW LTR. DATED 05/13/25	05/23/25	LEH	1	PER UTILITY COORDINATION	05/07/25	JF	REV.	DESCRIPTION	DATE	BY
4	PER RETIEW LTR. DATED 06/09/25	06/07/25	LEH																		
3	PER CCCD LTR. DATED 06/07/25	06/07/25	LEH																		
2	PER RETIEW LTR. DATED 05/13/25	05/23/25	LEH																		
1	PER UTILITY COORDINATION	05/07/25	JF																		
REV.	DESCRIPTION	DATE	BY																		

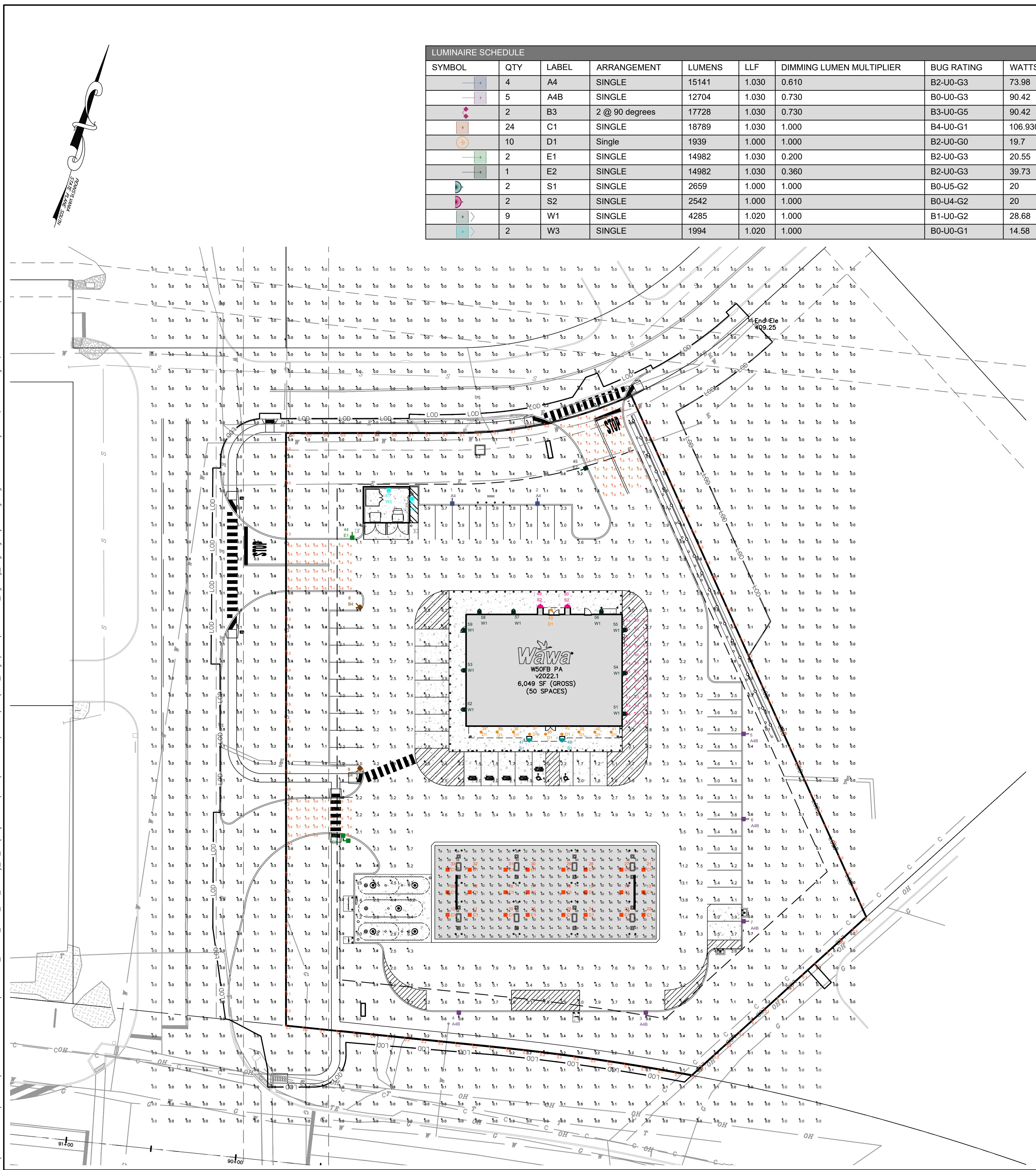
**PRELIMINARY-FINAL LAND DEVELOPMENT
920 CENTURY DRIVE WAWA**

LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

FUEL & GARBAGE TURN

GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES <small>PROJECT No.: 2408023 WAWA STORE No. 8256 OWNERS INFO: PROVOCO WOOD CENTURY, LLC 795 EAST LANCASTER AVE., STE 200 VILLANOVA, PA 19085 610-520-4572</small>	
<small>MUNICIPAL FILE No.: --- TAX MAP PARCEL No.: 13-24-0795-173 TOTAL AREA: 2.35 AC. TOTAL LOTS: 1 DATE: 04/21/2025 SCALE: 1"-30' DRAWN BY: LEH CHECKED BY: ESC</small>	
<small>SHEET NO.: 27 OF 31</small>	

30 0 30 60
SCALE IN FEET
1"-30'



LUMINAIRE SCHEDULE											
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	DIMMING LUMEN MULTIPLIER	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGC
	4	A4	SINGLE	15141	1.030	0.610	B2-U0-G3	73.98	295.92	Lithonia Lighting	DSX0LED-P6-50K-70CRI-T3M-MVOLT-AQ-HS-XX (SW. POS4)
	5	A4B	SINGLE	12704	1.030	0.730	B0-U0-G3	90.42	452.1	Lithonia Lighting	DSX0LED-P6-50K-70CRI-BLC3M-MVOLT-AQ-XX (SW.POS5)
	2	B3	2 @ 90 degrees	17728	1.030	0.730	B3-U0-G5	90.42	361.68	Lithonia Lighting	DSX0LED-P6-50K-70CRI-T4M-MVOLT-AQ-XX (SW. POS5)
	24	C1	SINGLE	18789	1.030	1.000	B4-U0-G1	106.9304	2566.33	Lithonia Lighting	RCNYLED-AL02-50K-80CRI-SYMCWVOLT-B2S-XX (SW.POS6)
	10	D1	Single	1939	1.000	1.000	B2-U0-G0	19.7	197	Gotham Architectural Lighting	EV06 35/20 ARL SS WD MVOLT GZ10
	2	E1	SINGLE	14982	1.030	0.200	B2-U0-G3	20.55	41.1	Lithonia Lighting	DSX0LED-P6-50K-70CRI-T2M-MVOLT-AQ-HS-XX (SW. POS1)
	1	E2	SINGLE	14982	1.030	0.360	B2-U0-G3	39.73	39.73	Lithonia Lighting	DSX0LED-P6-50K-70CRI-T2M-MVOLT-AQ-HS-XX (SW. POS2)
	2	S1	SINGLE	2659	1.000	1.000	B0-U5-G2	20	40	FC/SSL Lighting	FCWS7170-XXX-35K-2500-CR85-X-D
	2	S2	SINGLE	2542	1.000	1.000	B0-U4-G2	20	40	FC/SSL Lighting	FCWS7168-XXX-35K-2500-CR85-XX-D
	9	W1	SINGLE	4285	1.020	1.000	B1-U0-G2	28.68	258.12	Lithonia Lighting	DSXW1LED-P450K-70CRI-T4M-MVOLT-X
	2	W3	SINGLE	1994	1.020	1.000	B0-U0-G1	14.58	29.16	Lithonia Lighting	DSXW1LED-P250K-70CRI-T3M-MVOLT-HS-XX

NOTES:

- ALL AREA LIGHTS ON 20 FT. POLES MOUNTED ON 6 IN. CONCRETE BASES
- FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES UNLESS NOTED OTHERWISE

CALCULATION SUMMARY						
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN	
CANOPY	49.84	79	18	2.77	4.39	
DELIVERY AREA	3.57	4.3	2.5	1.43	1.72	
ENTRANCE & EXIT DRIVES	1.43	3.8	0.6	2.38	6.33	
PARKING & INTERIOR DRIVE AISLES	4.24	13.8	0.8	5.30	17.25	
PROPERTY LINE	0.19	0.5	0.0	N.A.	N.A.	
UNDEFINED	0.06	4.9	0.0	N.A.	N.A.	

THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS
REGULATED BY LOCAL ORDINANCES

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A4	20.5
2	A4	20.5
3	A4	20.5
4	A4	20.5
5	A4B	20.5
6	A4B	20.5
7	A4B	20.5
8	A4B	20.5
9	A4B	20.5
10	B3	20.5
11	B3	20.5
12	C1	17.11
13	C1	17.11
14	C1	17.11
15	C1	19.32
16	C1	19.32
17	C1	19.32
18	C1	19.32
19	C1	19.32
20	C1	19.32
21	C1	19.32
22	C1	19.32
23	C1	21.53
24	C1	17.11
25	C1	17.11
26	C1	17.11
27	C1	17.11
28	C1	17.11
29	C1	21.53
30	C1	21.53
31	C1	21.53
LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
32	C1	21.53
33	C1	21.53
34	C1	21.53
35	C1	21.53
36	D1	9
37	D1	9
38	D1	9
39	D1	9
40	D1	9
41	D1	9
42	D1	9
43	D1	9
44	D1	9
45	D1	9
46	E1	20.5
47	E1	20.5
48	E2	20.5
49	S1	9
50	S1	9
51	S2	8.5
52	S2	8.5
53	W1	15
54	W1	15
55	W1	15
56	W1	15
57	W1	15
58	W1	15
59	W1	15
60	W1	15
61	W1	15
62	W3	8
63	W2	8

ALL LIGHTING HAS BEEN PREPARED
BY RFD LEONARD ASSOCIATES

1340 KEMPER MEADOW DR.
FOREST PARK, OH 45240
513-574-9500
REDLEONARD.COM

 GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES																										
920 CENTURY DRIVE WAWA PRELIMINARY-FINAL LAND DEVELOPMENT																										
																										
DATE: 08/07/25																										
<table border="1"> <tr> <td>4</td> <td>PER RETTEW LTR. DATED 06/09/25</td> <td>08/07/25</td> <td>LEH</td> <td>ERIC S. CLASE</td> </tr> <tr> <td>3</td> <td>PER CCCD LTR. DATED 05/27/25</td> <td>06/30/25</td> <td>LEH</td> <td>ENGINEER 55713-E</td> </tr> <tr> <td>2</td> <td>PER RETTEW LTR. DATED 05/13/25</td> <td>05/23/25</td> <td>LEH</td> <td>PENNSYLVANIA</td> </tr> <tr> <td>1</td> <td>PER UTILITY COORDINATION</td> <td>05/07/25</td> <td>JP</td> <td>LIGHTING PLAN</td> </tr> <tr> <td>REV.</td> <td>DESCRIPTION</td> <td>DATE</td> <td>BY</td> <td></td> </tr> </table>		4	PER RETTEW LTR. DATED 06/09/25	08/07/25	LEH	ERIC S. CLASE	3	PER CCCD LTR. DATED 05/27/25	06/30/25	LEH	ENGINEER 55713-E	2	PER RETTEW LTR. DATED 05/13/25	05/23/25	LEH	PENNSYLVANIA	1	PER UTILITY COORDINATION	05/07/25	JP	LIGHTING PLAN	REV.	DESCRIPTION	DATE	BY	
4	PER RETTEW LTR. DATED 06/09/25	08/07/25	LEH	ERIC S. CLASE																						
3	PER CCCD LTR. DATED 05/27/25	06/30/25	LEH	ENGINEER 55713-E																						
2	PER RETTEW LTR. DATED 05/13/25	05/23/25	LEH	PENNSYLVANIA																						
1	PER UTILITY COORDINATION	05/07/25	JP	LIGHTING PLAN																						
REV.	DESCRIPTION	DATE	BY																							
PROJECT No.: 2308023 WAWA STORE NO. 8256 OWNERS INFO: PROVCO PINEGOOD CENTURY, LLC 795 EAST LANCASTER AVE., SUITE 200 VILLANOVA, PA 19085 610-520-4572 MUNICIPAL FILE No.: 2025-03 TAX MAP PARCEL No.: 13-24-0795-173 TOTAL AREA: 2.35 AC. TOTAL LOTS: 1 DATE: 04/21/2025 DRAWN BY: LEH SHEET NO.: 28 OF 31 SCALE: 1" = 30' CHECKED BY: ESC																										

QTY	LABEL	DESCRIPTION			
WALL MOUNTED	2	S2			
		FCWS7168-XXX-35K-2500-CRI85-XX-D			
					
		<hr/>			
					
		FCWS7168			
					
		  ADA			
SPECIFICATIONS					
PHYSICAL					
dimensions	18.5" H x 7.25" W x 4" Deep				
weight	7.5 lbs				
housing	Marine grade, corrosion resistant, heavy gauge high pressure die cast aluminum				
lens	Impact resistant, UV stabilized, opal, polycarbonate diffuser				
mounting	Mounts directly to standard junction box; masonry applications use four (4) 0.25" x 0.75" screws with lead anchors (fasteners not included, j-box by others)				
ingress protection	IP65: dry, damp, or wet locations with PVC closed cell foam gasket to seal out contaminants				
finish	Six stage chemical iron phosphate conversion pre-treatment. Polyester powder coat finish, 18 µm Min., 5000hr salt spray test (ASTM B117) compliant with Florida / AAMA 2604 specification.				
PERFORMANCE					
color temperature	2700K	3000K	3500K	4000K	
lumen output	1200 lm	1800 lm	2500 lm	4000 lm	6200 lm
lifetime	> 70,000 hours / L70 or better				
color consistency	3 SDCM / standard: 85 CRI optional: 90 CRI				
operating temperature	-13°F to 104°F (-25°C to 40°C)				
junction temperature	73°C @ T° 25°C				
warranty	5-Year limited warranty (refer to website for details)				
ELECTRICAL					
input voltage	Universal 120-277VAC optional: 347VAC (Integral)				
power supply	Integral Class II, electronic, high power factor > 94% @120V				
certifications	ETL/cETL Listed, CEC Title 24 JA8 compliant (only 90CRI complies), ADA Compliant				
standards	UL 1598 / CSA C22.2 No. 250.0 - Class II / IES LM-79 / LM-80				
power consumption	70W @ 120V - 277V (maximum)				
Warranty	5-Year limited warranty (refer to website for details)				
Date:					
Type:					
Fixture:					
Project:					
Approved:					

Consult Factory for other options and configurations.

To ensure you receive proper configurations for your lighting specifications, contact us directly about any unique application requirements. This may include but not be limited to lumen output, mounting needs, or electrical components.

Due to continuous development and improvements, specifications are subject to change without notice. FC Lighting reserves the right to change lab test details or specifications without notice. Product use certifies agreement to FC Lighting terms and conditions. FCC Series Cylinder Lights are engineered and produced in our Illinois manufacturing facility.

US Commercial Lighting Manufacturer Since 1982

© FC Lighting

3609 Swenson Ave. • St. Charles, IL • 60174 | fcflighting.com | 800.900.1730

Specification Sheet

AG-DM-062123

2

	QTY	LABEL	DESCRIPTION
WALL MOUNTED	9	W1	DSXW1LED-P4-50K-70CRI-T4M-MVOLT-XX
	2	W3	DSXW1LED-P2-50K-70CRI-T3M-MVOLT-HS-XX

ADDITIONAL FIXTURE INFO

D-Series Size 1 LED Wall Luminaire

BAA **BABA**

Specifications

Luminaire

Width:	13-3/4" (34.9 cm)	Weight:	12 lbs (5.4 kg)
Depth:	10" (25.4 cm)		
Height:	6-3/8" (16.2 cm)		

Back Box (BBW, E20WC)

Width:	13-3/4" (34.9 cm)	BBW	5 lbs (2.3 kg)
Depth:	4" (10.2 cm)	E20WC	10 lbs (4.5 kg)
Height:	6-3/8" (16.2 cm)		

Catalog
Number

Notes

Type

Hit the Tab key or mouse over this page to see all interactive elements.

Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and significant energy savings, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW1 LED P2 40K 70CRI T3M MVOLT SRM DDBTXD

DSXW1 LED							
Series	Lumen Package	CCT	CRI	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	P1 2000 Lumens	27K	2700K	70CRI	T2S	Type 2 Short	Shipped included
	P2 2200 Lumens	30K	3000K	80CRI	T2M	Type 2 Medium	PE Photoelectric cell, button type ⁴
	P3 3200 Lumens	35K	3500K	AMCRI	T3LG	Type 3 Low Glare ⁴	DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)
	P4 4300 Lumens	40K	4000K		T3M	Type 3 Medium	PIR 180° motion/ambient light sensor, <15' mtg ht ⁹
	P5 5200 Lumens	50K	5000K		T4M	Type 4 Medium	PIRH 180° motion/ambient light sensor, 15-30' mtg ht ⁹
	P6 7200 Lumens	57K	5700K		TFTM	Forward Throw Medium	PIR1FCV Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ⁹
	P7 10000 Lumens	AMBPC	Amber PC ³		BLC3	Back Light Control Type 3 ⁴	PIRH1FCV Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ⁹
			AMBLW	Amber LW ¹³	BLC4	Back Light Control Type 4 ⁴	E20WC 20 Watt Emergency battery backup (Includes external component enclosure), CA Title 20 Compliant ¹⁰
							E10WH 10 Watt Emergency battery backup (Includes external component enclosure), CA Title 20 compliant ¹⁰

Other Options		Finish (required)					
Shipped installed	Shipped separately¹²	DBBXD	Dark bronze	DSSXD	Sandstone	DWHGXD	Textured white
SF Single fuse (120, 277 or 347V) ^{5,11}	BSW Bird-deterrent spikes	DBLXD	Black	DBTXD	Textured dark bronze	DSSTXD	Textured sandstone
DF Double fuse (208, 240 or 480V) ^{5,11}	VG Vandal guard	DNAXD	Natural aluminum	DBLBXD	Textured black		
HS House-side shield ¹²	DDL Diffused drop lens	DWHXD	White	DNATXD	Textured natural aluminum		
SPD Separate surge protection							

ordered as an accessory. Not Available with E20WC or E10WH.

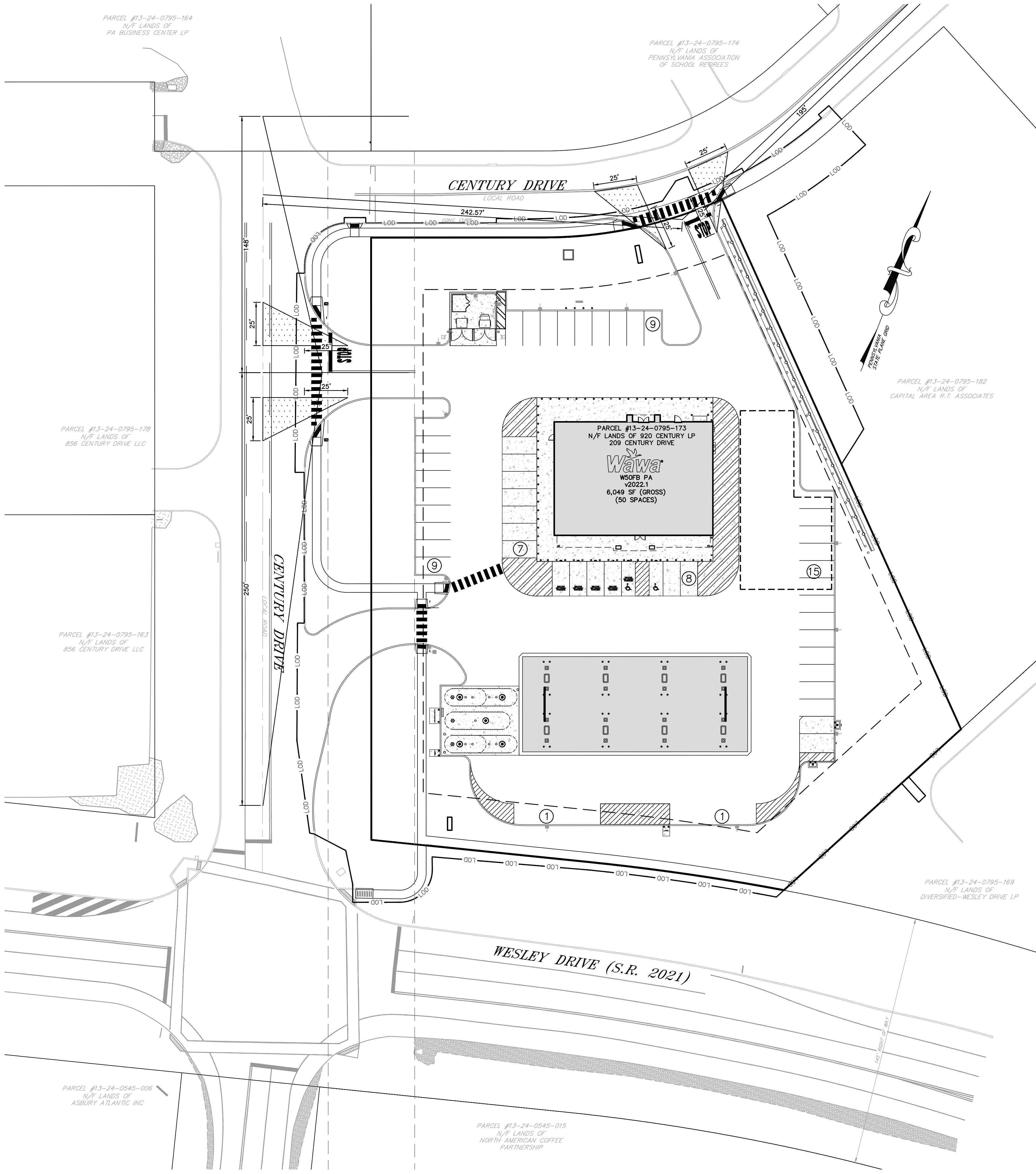
 **LITHONIA**
LIGHTING[®]

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
© 2013-2024 Acuity Brands Lighting, Inc. All rights reserved.

DSXW1-LED
Rev. 12/12/24

Performance Data								
Lumen Output								
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Contact factory for performance data on any configurations not shown here.								
Package	Dist. Type	System Watts	30K, 70CRI		40K, 70CRI		50K, 70CRI	
			Lumens	LPW	Lumens	LPW	Lumens	LPW
P1	T2M	12	1,840	149	1,965	159	1,993	161
	T3M	12	1,786	144	1,908	154	1,934	156
	T4M	12	1,821	147	1,946	157	1,973	159
	TFTM	12	1,816	147	1,940	157	1,967	159
	BLC4	12	1,382	112	1,476	119	1,497	121
P2	T2M	15	2,189	150	2,339	160	2,371	163
	T3M	15	2,126	146	2,271	156	2,302	158
	T4M	15	2,168	149	2,316	159	2,348	161
	TFTM	15	2,161	148	2,309	158	2,341	161
	BLC4	15	1,645	113	1,757	121	1,781	122
P3	T2M	21	3,064	146	3,273	155	3,318	158
	T3M	21	2,974	141	3,177	151	3,222	153
	T4M	21	3,033	144	3,240	154	3,285	156
	TFTM	21	3,024	144	3,231	153	3,275	156
	BLC4	21	2,302	109	2,459	117	2,493	118
P4	T2M	29	3,997	139	4,269	149	4,329	151
	T3M	29	3,880	135	4,145	145	4,203	147
	T4M	29	3,957	138	4,227	147	4,286	149
	TFTM	29	3,945	138	4,214	147	4,273	149
	BLC4	29	3,002	105	3,207	112	3,252	113
P5	T2M	37	4,977	134	5,317	143	5,391	145
	T3M	37	4,832	130	5,162	139	5,233	141
	T4M	37	4,928	132	5,264	142	5,337	144
	TFTM	37	4,913	132	5,248	141	5,321	143
	BLC4	37	3,739	101	3,994	107	4,050	109
P6	T2M	48	6,867	142	7,335	152	7,437	154
	T3M	48	6,667	138	7,122	148	7,220	150
	T4M	48	6,798	141	7,262	151	7,363	153
	TFTM	48	6,778	140	7,241	150	7,341	152
	BLC4	48	5,158	107	5,511	114	5,587	116
P7	T2M	73	9,819	135	10,490	145	10,635	147
	T3M	73	9,533	131	10,184	140	10,325	142
	T4M	73	9,722	134	10,385	143	10,529	145
	TFTM	73	9,693	134	10,354	143	10,498	145

BL4	73	7,377	102	7,880	109	7,989	110
-----	----	-------	-----	-------	-----	-------	-----



CLEAR SIGHT TRIANGLES				LEFT MOVEMENTS				RIGHT MOVEMENTS			
DRIVEWAY	INTERSECTING ROAD	POSTED SPEED	SLOPE	DESIRABLE SIGHT DISTANCE	SAFE STOPPING SIGHT DISTANCE	PROVIDED SIGHT DISTANCE	DESIRABLE SIGHT DISTANCE	SAFE STOPPING SIGHT DISTANCE	PROVIDED SIGHT DISTANCE		
NORTH	CENTURY DRIVE	25 MPH	< 2.0%	250 FT	145 FT	242.57 FT	195 FT	145 FT	195 FT		
WEST	CENTURY DRIVE	25 MPH	< 2.0%	250 FT	150 FT	250 FT	195 FT	148 FT	148 FT		

DESIRABLE AND SAFE STOPPING SIGHT DISTANCES ARE TAKEN FROM TABLE 4, SIGHT DISTANCE ANALYSIS, FROM THE TIS, PREPARED BY TPD.

NOTE THAT PENNDOT TYPICALLY CONSIDERS THE DESIRABLE SIGHT DISTANCE REQUIREMENTS SATISFIED IF CLEAR SIGHT LINES ARE PROVIDED TO AN ADJACENT T-INTERSECTION BECAUSE TURNING VEHICLES WOULD TYPICALLY BE TRAVELING SLOWER THAN THE POSTED SPEED LIMIT UTILIZED IN THE SIGHT DISTANCE CALCULATIONS.

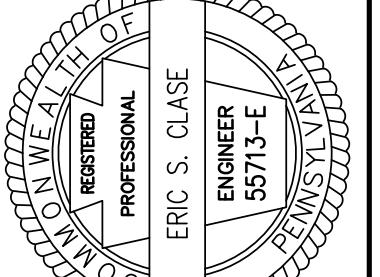
BASED ON THE ABOVE, THE MEASURED(EXISTING) SIGHT DISTANCES AT THE PROPOSED SITE ACCESS LOCATIONS EXCEED PENNDOT'S DESIRABLE SIGHT DISTANCE AND SAFE STOPPING SIGHT DISTANCE REQUIREMENTS, THEREFORE SATISFYING §192-57.C(4) OF THE LOWER ALLEN TOWNSHIP SALDO.

30 0 30 60
SCALE IN FEET
1'=30'



LOCATION MAP

1000 0 1000 2000
SCALE: 1"=1000'
IN FEET

 GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES CORPORATE HEADQUARTERS 60 EAST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 19085 • (215)34-4330 • www.gilmoresinc.com																							
		ONLY THOSE PLANS INCORPORATING THE PROFESSIONAL SEAL SHOULD BE CONSIDERED OFFICIAL AND RELIED UPON BY USER. THIS PLAN IS PREPARED OFFICIALLY FOR THE BENEFIT AND PROTECTION OF THE OWNER OF THE PROPERTY. THE USE OF THIS PLAN WITHOUT THE CONSENT OF GILMORE & ASSOCIATES, INC. IS PROHIBITED.																					
NOT APPROVED FOR CONSTRUCTION																							
		DATE: 08/07/25 PROFESSIONAL ERIC S. CLASE ENGINEER 557-13-E CONSULTANT DATE: BY																					
920 CENTURY DRIVE WAWA LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA		CLEAR SIGHT DISTANCE																					
<table border="1"> <tr> <td>4</td> <td>PER RETIEW LTR. DATED 06/09/25</td> <td>06/07/25</td> <td>LEH</td> </tr> <tr> <td>3</td> <td>PER CCCD LTR. DATED 06/07/25</td> <td>06/20/25</td> <td>LEH</td> </tr> <tr> <td>2</td> <td>PER RETIEW LTR. DATED 05/13/25</td> <td>05/23/25</td> <td>LEH</td> </tr> <tr> <td>1</td> <td>PER UTILITY COORDINATION</td> <td>05/07/25</td> <td>JF</td> </tr> <tr> <td>REV.</td> <td>DESCRIPTION</td> <td>DATE</td> <td>BY</td> </tr> </table>				4	PER RETIEW LTR. DATED 06/09/25	06/07/25	LEH	3	PER CCCD LTR. DATED 06/07/25	06/20/25	LEH	2	PER RETIEW LTR. DATED 05/13/25	05/23/25	LEH	1	PER UTILITY COORDINATION	05/07/25	JF	REV.	DESCRIPTION	DATE	BY
4	PER RETIEW LTR. DATED 06/09/25	06/07/25	LEH																				
3	PER CCCD LTR. DATED 06/07/25	06/20/25	LEH																				
2	PER RETIEW LTR. DATED 05/13/25	05/23/25	LEH																				
1	PER UTILITY COORDINATION	05/07/25	JF																				
REV.	DESCRIPTION	DATE	BY																				
GILMORE & ASSOCIATES, INC. ENGINEERING & CONSULTING SERVICES PROJECT No.: 2308023 WAWA STORE NO. 8256 OWNERS INFO: PROVCO PINEGOOD CENTURY, LLC 795 EAST LANCASTER AVE. SUITE 100 VILLANOVA, PA 19085 610-520-4572 MUNICIPAL FILE NO.: 2025-03 TAX MAP PARCEL NO.: 13-24-0795-173 TOTAL AREA: 2.35 AC. TOTAL LOTS: 1 DATE: 04/21/2025 SCALE: 1"=30' DRAWN BY: LEH CHECKED BY: ESC SHEET NO.: 31 OF 31																							